

# 7616 Pacific Ave, Unit A5

## Commercial Cannabis Business Retail Storefront

### Land Use Permit Planning Application #P20-0693



#### PROJECT INFORMATION

|                             |                                                          |
|-----------------------------|----------------------------------------------------------|
| ADDRESS / SUBJECT PREMISES: | 7616 PACIFIC AVE, UNIT A5<br>STOCKTON, CALIFORNIA, 95207 |
| PARCEL ID:                  | 081 - 500- 021                                           |
| ACREAGE:                    | 2.31 AC / 101,476 SQ.FT.                                 |
| ZONING:                     | CG (GENERAL COMMERCIAL)                                  |
| OCCUPANCY GROUP:            | B (BUSINESS) , M (MERCANTILE)                            |
| BUILDING SQUARE FOOTAGES:   |                                                          |
| BUILDING 'A':               |                                                          |
| UNIT 'A3'                   | ± 3,850 SQ.FT.                                           |
| UNIT 'A4'                   | ± 2,400 SQ.FT.                                           |
| UNIT 'A5'                   | ± 6,500 SQ.FT.                                           |
| UNIT 'A6'                   | ± 2,100 SQ.FT.                                           |
| UNIT 'A7'                   | ± 2,100 SQ.FT.                                           |
| TOTAL FOOTPRINT ON LOT:     | ± 16,950 SF (± 17%) (NO CHANGE)                          |
| PARKING:                    | *SEE SHEET A11                                           |

#### SCOPE OF WORK

- DEMOLITION OF EXISTING INTERIOR PARTITIONS, CASEWORK AND ASSOCIATED APPURTENANCES AS REQUIRED TO ACCOMMODATE NEW WORK
- CANNABIS RETAIL - PRE-PACKAGED PRODUCT; NO CONSUMPTION
- TENANT FINISH OUT OF AN EXISTING OFFICE BUILDING
- CONSTRUCT NEW INTERIOR PARTITION WALLS
- NEW HVAC SYSTEM WITH CARBON FILTERS, NO EXHAUST
- PAINT INTERIOR WALLS, INSTALL NEW POWER & LIGHTING FIXTURES, CASEWORK

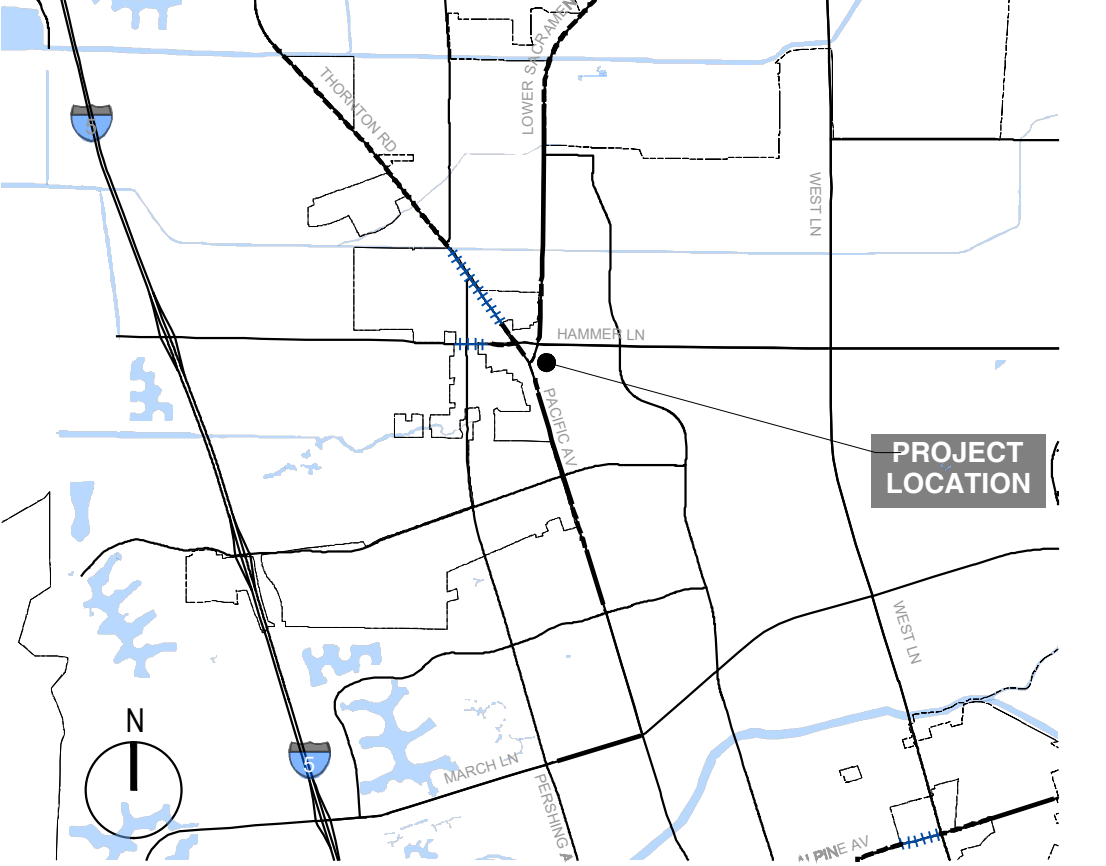
#### SHEET INDEX

| NO.  | SHEET NAME                                     |
|------|------------------------------------------------|
| A001 | PROJECT INFORMATION & NEIGHBORHOOD CONTEXT MAP |
| A100 | REFERENCE SITE PLAN                            |
| A201 | PROPOSED FLOOR PLAN                            |

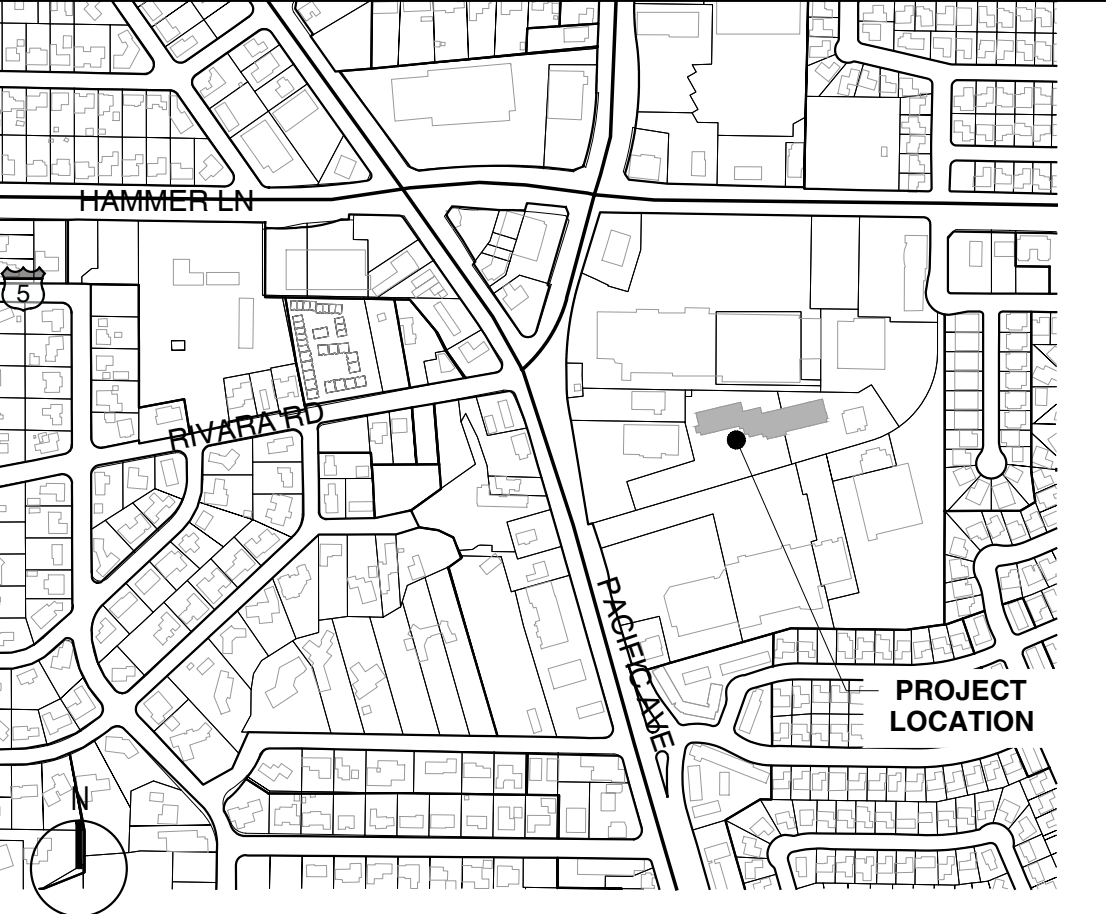
#### PROJECT CONTACTS

| PROPERTY OWNER/ LANDLORD:                                                                                                                                                    | BUSINESS OWNER/ PRINCIPAL:                                                                                                                                         |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| HAMMER RANCH-STERLING PROPERTIES LLC<br>4529 QUAIL LAKES DRIVE, #A<br>STOCKTON, CALIFORNIA 95207<br>PH: (209) 478 - 4000<br>EMAIL: KARSMC1@AOL.COM<br>CONTACT: KATHRYN SMITH | JIVA SCK LLC<br>436 CLEMENTINA STREET (STE 303)<br>SAN FRANCISCO, CALIFORNIA 94103<br>PH: (731) 801-6300<br>Email: RAJ@JIVALIFE.ORG<br>Contact: RAJ J. POTTABATHNI |

#### REGIONAL VICINITY MAP



#### PROJECT LOCATION MAP



#### COMMERCIAL CANNABIS BUSINESS RETAIL STOREFRONT

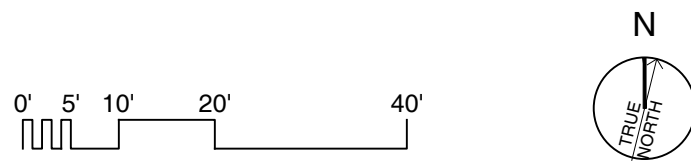
LAND USE PERMIT  
PLANNING APPLICATION  
#P20-0693

HAMMER RANCH CENTER  
7616 PACIFIC AVE, UNIT A5  
STOCKTON, CA 95207  
PARCEL ID: 081-500-021

JIVA SCK LLC  
12 JAN 2021

PROJECT INFORMATION &  
NBHD. CONTEXT MAP

A001



01 REFERENCE SITE PLAN  
SCALE: 1" = 20'-0"

KEYED NOTES

- EXISTING PROPERTY LINE
- EXISTING AC PAVED PARKING LOT
- EXISTING CONCRETE RAMP
- EXISTING CURB & SIDEWALK
- EXISTING COVERED WALKWAY
- EXISTING LANDSCAPED AREA TO REMAIN
- INDICATES EXISTING 1-STORY BUILDING FOOTPRINT
- CROSS HATCHING INDICATES AREA OF IMPROVEMENT AT SUITE 'A5'
- INDICATES EXISTING STANDARD STALL STRIPING PER CITY STDs
- EXISTING VAN ACCESSIBLE AND STANDARD ACCESSIBLE PARKING STALL & ACCESS AISLE PER CBC REQMTS.
- EXISTING SECURED CMU TRASH ENCLOSURE PER CITY STDs
- NEW DISTRIBUTION/ DELIVERY LOADING AREA
- EXISTING UTILITY ROOM

PARKING CALCULATION

PREVIOUS USE - BUSINESS AND PROFESSIONAL  
6,500 SQ.FT. / 200 = 33 EXISTING STALLS

PROPOSED USE : RETAIL ( PER SMC 16.64/040, TABLE 3-9)

REQUIRED  
RETAIL STOREFRONT (1/250 SQ.FT. GFA)  
3,145 / 250 = 13  
OTHER (STORAGE, EMPLOYEE BREAK ROOMS, EQUIPMENT ROOMS, OFFICES,  
AND CIRCULATION CORRIDORS) (1/2,000 SQ.FT. GFA)  
3,355 / 2,000 = 2

|                |      |
|----------------|------|
| TOTAL REQUIRED | = 15 |
| TOTAL PROVIDED | = 33 |

COMMERCIAL CANNABIS  
BUSINESS RETAIL  
STOREFRONT

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REFERENCE  
SITE PLAN  
A100