

ELITE CAR WASH

SEC OF 8 MILE ROAD & THORNTON ROAD STOCKTON, CA

PROJECT INFORMATION

PARCEL SIZE:	36,941 SF (0.848 AC)
APNs:	070-670-01
ZONING:	GC - GENERAL COMMERCIAL
EXISTING USE:	UNDEVELOPED
PROPOSED USE:	CAR WASH

PROJECT SITE COVERAGE:	
CAR WASH BUILDING	4,724 SF 12.78%
LANDSCAPE	7,559 SF 20.46%
PAVING	24,658 SF 66.76%
TOTAL PARCEL AREA:	36,941 SF, 100.00%

CONTACTS

CITY OF STOCKTON PLANNING DIVISION
345 N. EL DORADO STREET
STOCKTON, CA 95202
CONTACT: (209) 937-6266

OWNER
ELITE BUSINESS ENTERPRISES, INC.
2990 MERIDIAN PARK BLVD, STE G
CONCORD, CA 94520
925.446.6806
SURINA.MANN@NORCALOFFICE.COM

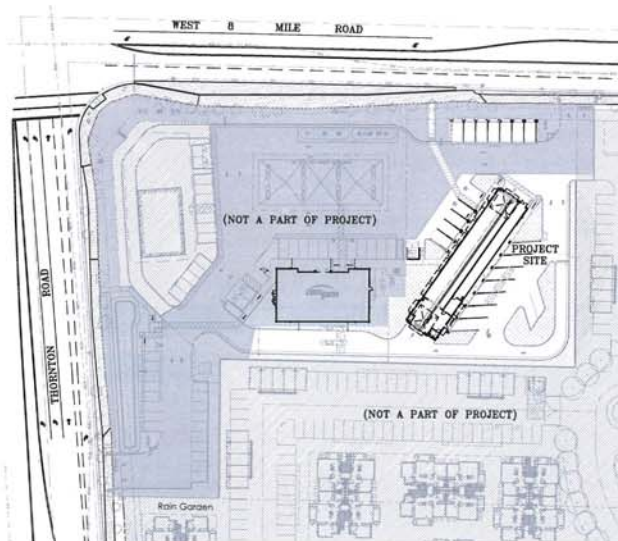
ARCHITECT
CSHOA
1450 HARBOR BLVD, SUITE A
WEST SACRAMENTO, CA 95661
916.231.0881 x0885
CONTACT: CHARLES NATTLAND
CHARLES.NATTLAND@CSHOA.COM

CIVIL ENGINEER
LOR ENGINEERING, INC.
620 DEWITT AVENUE, #10
CLOVIS, CA 93612
559.297.5200
CONTACT: HAL LORE
HAL@LORE-ENGINEERING.COM

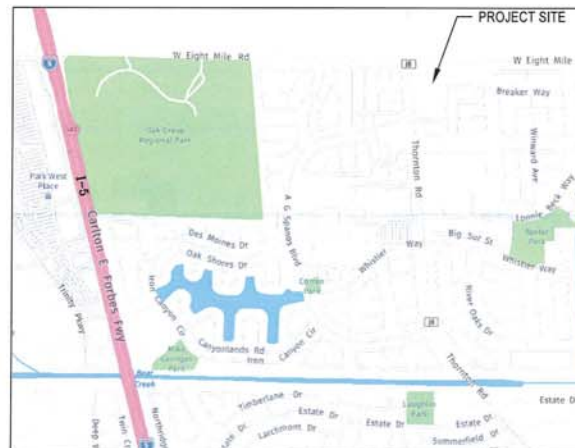
LANDSCAPE ARCHITECT
WATKINS PLANNING & LANDSCAPE ARCHITECTURE
1333 HOWE AVENUE, SUITE 113
SACRAMENTO, CA 95825
707.628.5326
CONTACT: ERIK WATKINS
WATKINS.ERIK@GMAIL.COM

DRAWING INDEX

A1	COVER SHEET
A2	SITE PLAN
A3	FLOOR PLAN
A4	EXTERIOR ELEVATIONS
A5	SITE CONTEXT
L-2	TREE PLANTING PLAN
L-3	SHRUB PLANTING PLAN
L-4	IRRIGATION PLAN



SITE PLAN
1" = 50'



VICINITY MAP
N.T.S.

PRELIMINARY
NOT FOR
CONSTRUCTION

CHARLES NATTLAND, ARCHITECT
1450 HARBOR BLVD, SUITE A
WEST SACRAMENTO, CA 95661
(916) 231-0881
www.csha.com

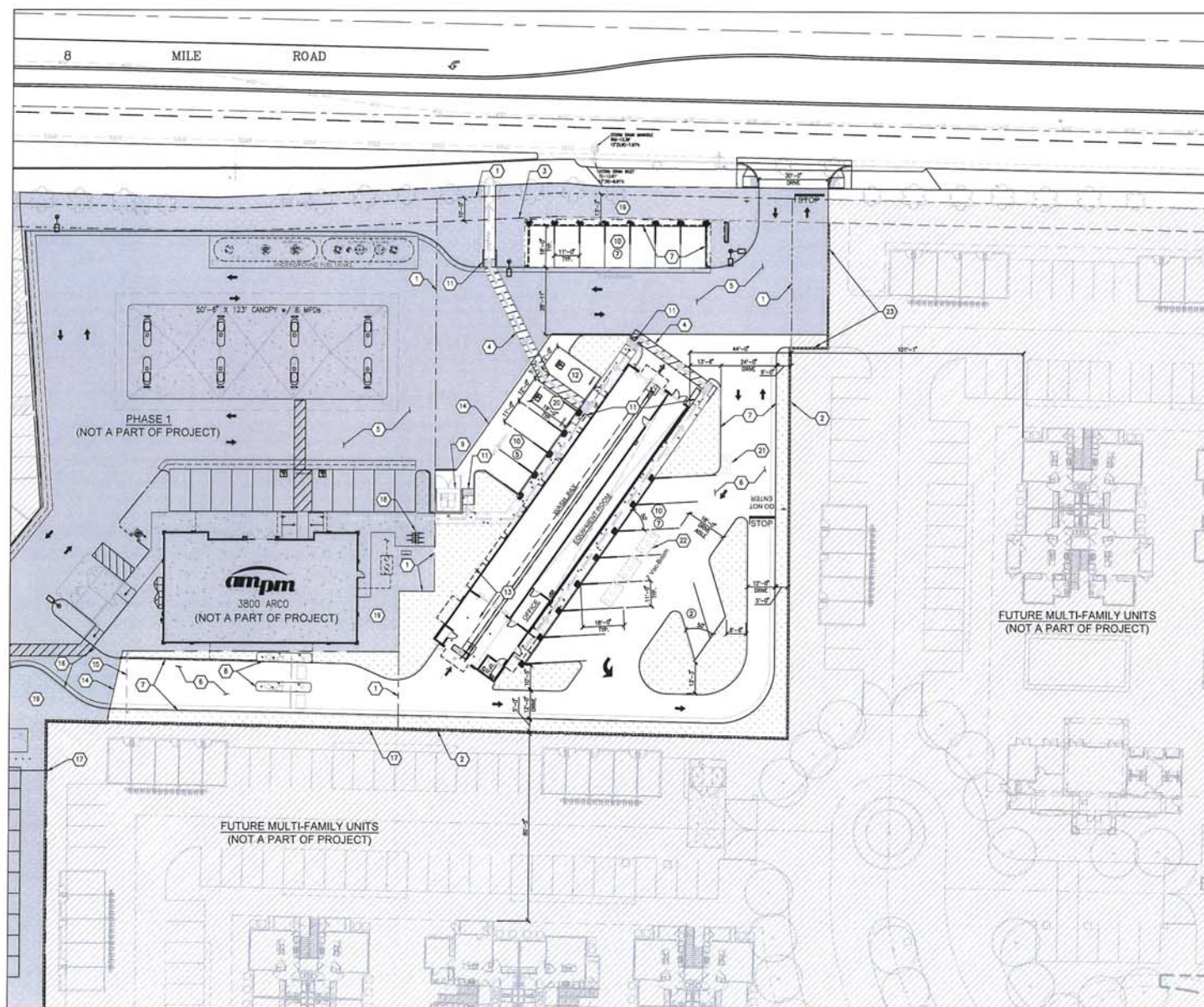
STOCKTON CA
1450 HARBOR BLVD, SUITE A
WEST SACRAMENTO, CA 95661
(916) 231-0881
www.csha.com

ELITE CARWASH
SEC 8 MILE RD AND THORNTON RD
CSHOA INC.

PROJECT	DATE
EN	04/03/20
REVISED	CHECKED

SHEET TITLE
COVER SHEET

SHEET
A1
ORIGINAL SHEET 622
24" x 36"

PARKING DATA
(CHAPTER 6, TABLE 3-9)

REQUIRED

FULL SERVICE CAR WASH (3 PER WASH LANE)	= 3 SPACES
TOTAL REQUIRED	= 3 SPACES

PROVIDED

ACCESSIBLE SPACE (12'x19')	= 1 SPACE
STANDARD SPACE (9'x19')	= 2 SPACE
VACUUM ACCESSIBLE SPACE (12'x19')	= 1 SPACE
VACUUM SPACE (11'x18')	= 17 SPACES
TOTAL PROVIDED	= 21 SPACES

KEYED NOTES

- 1 PROPERTY LINE
- 2 NEW 8' HIGH CMU SCREEN WALL ALONG PROPERTY LINE
- 3 LINE OF PUBLIC UTILITY EASEMENT
- 4 NEW ACCESSIBLE PATH OF TRAVEL, STRIPING
- 5 EXISTING ASPHALT CONCRETE PAVEMENT
- 6 NEW ASPHALT CONCRETE PAVEMENT
- 7 NEW CONCRETE CURB, TYP.
- 8 NEW PAY STATION
- 9 NEW TRASH ENCLOSURE
- 10 NEW VACUUM STATIONS
- 11 NEW ACCESSIBLE RAMP
- 12 NEW VAN ACCESSIBLE PARKING STALL
- 13 ROOF/CANOPY LINE ABOVE
- 14 EXISTING EDGE OF PAVEMENT. PROVIDE SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
- 15 NEW OVERHEIGHT WARNING BAR
- 16 EXISTING CURB
- 17 EXISTING 8' HIGH CMU SCREEN WALL
- 18 EXISTING BIKE PARKING
- 19 EXISTING LANDSCAPE
- 20 NEW ACCESSIBLE VACUUM STATION
- 21 OIL/WATER SEPARATOR
- 22 CAR WASH UNDERGROUND WATER RECLAIM SYSTEM
- 23 PROPOSED 8' HIGH CMU WALL ON THE APARTMENT PROPERTY FOR SOUND MITIGATION.

SITE LEGEND

- FUEL STATION (N.I.C.)
- FUTURE RESTAURANT & MULTI-FAMILY UNITS (N.I.C.)
- NEW CONCRETE AND WALKS
- NEW LANDSCAPE
- PARKING/VACUUM STALL COUNT
- SITE LIGHTING
- PATH OF TRAVEL



1 SITE PLAN
SCALE: 1" = 20'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

CHARLES NATLAND ARCHITECT

1405 HARBOR BLVD., SUITE A
STOCKTON, CA 95210
(510) 271-4881
www.cshoa.com

STOCKTON, CA

1405 HARBOR BLVD., SUITE A
STOCKTON, CA 95210
(510) 271-4881
www.cshoa.com

ELITE CARWASH
SEC 8 MILE RD AND THORNTON RD

CSHOA INC.

PROJECT

17285.2

DATE

04/02/20

DRAWN

CH

CHECKED

REVISED

SHEET TITLE

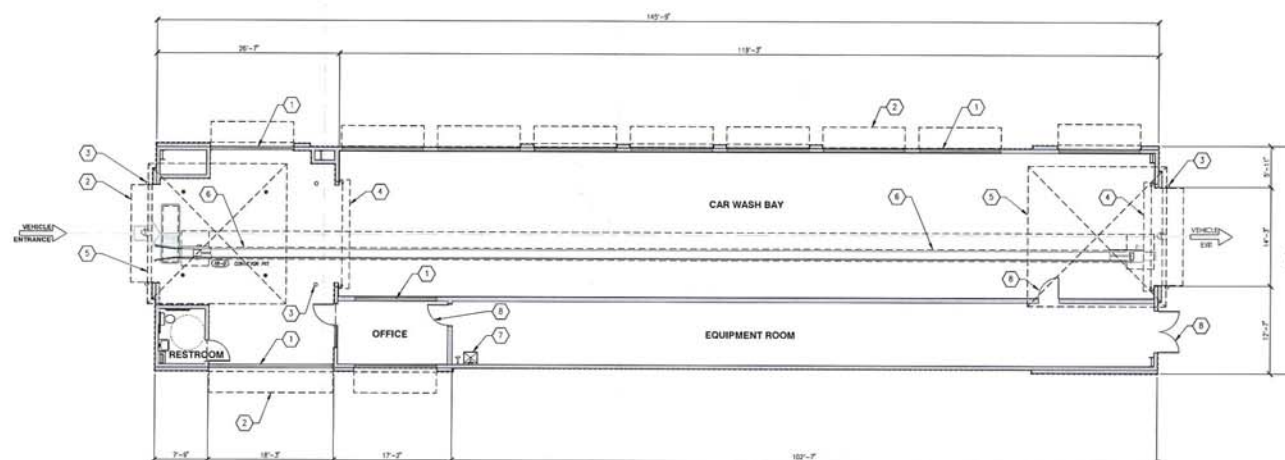
SITE PLAN

SHEET

A2

OPTIONAL SHEET SIZE

24" x 36"



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL DIMENSIONED DIMENSIONS ARE TO BE USED. PLANS SHALL NOT BE SCALED.
- EXTERIOR WALLS ARE 24" UNID. INTERIOR WALLS 24" UNID.
- ALL EQUIPMENT SHALL MEET ACCESSIBILITY REACH RANGE REQUIREMENTS.
- PROVIDE PLASTIC CORNER GUARDS AT EDGES BELOW 6'-0".
- ALL COUNTERTOPS SHALL BE MAX. 34" A.F.F. WITH A 3'-0" WIDE TRANSECTION AREA AT CORNER.
- FLAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS SHALL COMPLY WITH LOCAL CODES.
- FIRE EXTINGUISHERS (2A-10BC) SHALL BE INSTALLED AT SALES COUNTER, BACK ROOM OFFICE, & FUEL CHOPPY LOCATIONS IF NOT SHOWN ELSEWHERE ON THESE DRAWINGS. VERIFY WITH OWNER FOR DETAILS. CONFIRM FINAL DETAILS WITH LOCAL FIRE INSPECTOR.
- WATER HEATERS SHALL BE CAPABLE OF DELIVERING MIN. 120° WATER TO ALL SHOPS.
- ALL DOORS MUST HAVE NO MORE THAN 5 LBS OPENING FORCE AND MUST HAVE A SLEEP PERIOD OF 3 SECONDS TO CLOSE FROM 70° OPEN TO 27° FROM THE LATCH.

FLOOR PLAN KEY NOTES

- ALUMINUM ENTRANCE AND CORNERFRONT SYSTEM, TYP.
- LINE OF CHOPPY ABOVE, TYP.
- 4"x4" HIGH BOLLARD FILLED WITH CONCRETE, TYP.
- CAR WASH BAY DOOR
- LINE OF ROOF ABOVE
- CONVEYOR/PIT
- WOP SIGN
- METAL DOOR AND FRAME

**PRELIMINARY
NOT FOR
CONSTRUCTION**

CHARLES NATLAND, ARCHITECT
1409 HARBOR BLVD., SUITE A
STOCKTON, CA 95210
(209) 944-1111
www.cshga.com

STOCKTON, CA
1409 HARBOR BLVD., SUITE A
WEST SACRAMENTO, CA 95605
(916) 231-4881
www.cshga.com

ELITE CARWASH
SEC 8 MILE RD AND THORNTON RD
CSHGA INC.

PROJECT 17285.2	DATE 02/05/19
DRAWN CN	CHECKED

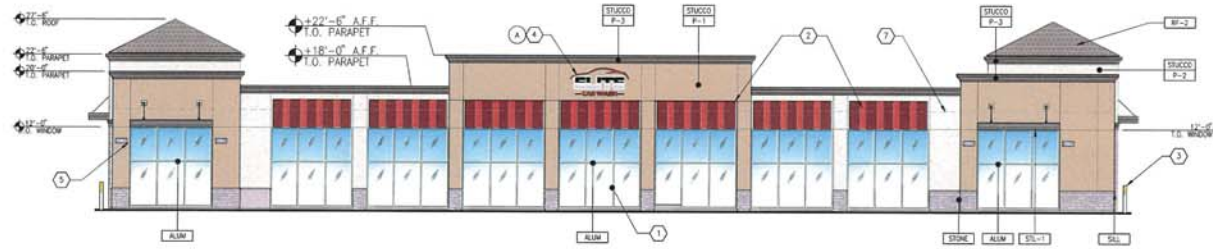
REVISED

SHEET TITLE
**FLOOR
PLAN**

SHEET

A3

ORIGINAL SHEET SIZE
24" X 36"



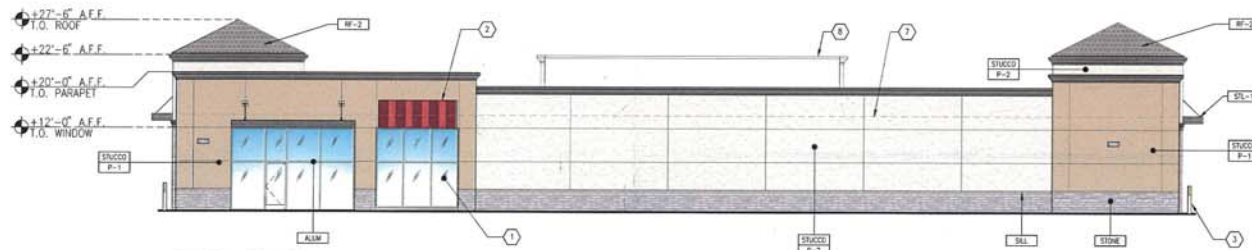
01 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



02 Right Elevation
SCALE: 1/8" = 1'-0"



03 Left Elevation
SCALE: 1/8" = 1'-0"



04 Rear Elevation
SCALE: 1/8" = 1'-0"

KEYED NOTES

- 1 CLAZING, (TYP.)
- 2 FABRIC CANOPY, COLOR F-4 & P-5, (TYP.)
- 3 BOLLARD, (TYP.)
- 4 WALL MOUNTED SIGN
- 5 WALL MOUNTED LED FIXTURE, (TYP.)
- 6 INSTRUCTIONAL SIGN PANEL
- 7 LINE OF ROOF BEYOND
- 8 PARAPET BEYOND

COLOR LEGEND

- P-1 DUNK EDWARDS, DE8130, "WOODEN ACME"
- P-2 DUNK EDWARDS DE8128, "SAND CLUNE"
- P-3 DUNK EDWARDS DE8756, "WEATHERED BROWN", HIGH GLOSS
- F-4 ANIRING FABRIC "JOCKEY REEF"
- P-5 ANIRING FABRIC "JOCKEY REEF"

MATERIAL LEGEND

- STUCCO 1/2" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS, TEXTURE: FINE SAND FINISH
- SL-1 STEEL ANIRING, COLOR: P-3
- ALUM CLEAR ANODIZED ALUMINUM
- STONE MANUFACTURED STONE VENEER MFG. CULTURED STONE PRODUCT: PRO-FIT LIDGESTONE, COLOR: "SHALE"
- SL MANUFACTURED STONE SLI MFG. CULTURED STONE PRODUCT: WATERBURY/SLI, COLOR: "TAUPE"
- RF-2 SLATE ROOF MFG. ROMAN CONCRETE TILE PRODUCT: SAKONY 800 COLOR: "CHOCOLATE BROWN BLEND" 17ACS1132

GENERAL NOTES:

1. COORDINATE W/ BUILDING CONTRACTOR FOR ELEC. SERVICE CONDUIT & POWER.
2. SIGN MOUNTING TO BUILDING SHALL BE A DEFERRED SUBMITTAL PROVIDED BY SIGN CONTRACTOR SHOP DRAWINGS

SIGNAGE CODE

SIGNAGE PER STOCKTON MUNICIPAL CODE 16.76.100 BUILDING SIGNS..... AREA OF SIGN NOT TO EXCEED 2 SQ. FT. PER LINEAR FT. OF WALL

MONUMENT SIGN.....1 ALLOWED PER STREET FRONTAGE NOT TO EXCEED 10 FT IN HEIGHT AND 100SQ FT PER FACE; SECOND SIGN NOT TO EXCEED 7FT IN HEIGHT AND 50 SQ. FT. PER FACE.

SITE SIGNAGE TABLE

	SIGN	QTY.	PROVIDED AREA	PERMITTED AREA
FRONT				
(A)	ELITE CARWASH WALL MOUNTED SIGN	1	33.8 sf	292 SF
LEFT				
(A)	ELITE CARWASH WALL MOUNTED SIGN	1	33.8 sf	64 SF
RIGHT				
(A)	ELITE CARWASH WALL MOUNTED SIGN	1	33.8 sf	
(B)	CARWASH MENU BOARD	1	8 sf	64 SF
TOTAL:			109.4 sf	

PRELIMINARY
NOT FOR
CONSTRUCTION

CHARLES NATLAND ARCHITECT

1400 W. 10TH ST., SUITE 4

STOCKTON, CA 95210

PHONE: (209) 938-1000 FAX: (209) 938-1001

WWW.CSHQA.COM

STOCKTON, CA

1400 W. 10TH ST., SUITE 4

STOCKTON, CA 95210

PHONE: (209) 938-1000 FAX: (209) 938-1001

WWW.CSHQA.COM

ELITE CARWASH
SEC 8 MILE RD AND THORNTON RD

CSHQA INC.

PROJECT
17285.2

DATE
02/09/19

DRAWN
EN

CHECKED

REVISED

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET

A4

ORIGINAL SHEET SIZE
24" x 36"



1 EIGHT MILE RD LOOKING EAST



2 THORNTON RD LOOKING SOUTH



3 EIGHT MILE RD LOOKING WEST



4 BREAKER WAY LOOKING NORTH



PHOTO LEGEND



5 THORNTON RD LOOKING EAST

PRELIMINARY
NOT FOR
CONSTRUCTION

CHARLES NATLAND ARCHITECT
1450 HARRISON BLVD. SUITE 1
STOCKTON, CA 95210
PHONE: (209) 921-4881 • FAX: (209) 921-4887
WWW.CSHQA.COM

STOCKTON, CA
1450 HARRISON BLVD. SUITE 1
WEST SACRAMENTO, CA 95691
(916) 231-4881
WWW.CSHQA.COM

ELITE CARWASH
SEC 8 MILE RD AND THORNTON RD
CSHQA INC.

PROJECT 17285.2	DATE 02/05/19
DRAWN EN	CHECKED

REVISED

SHEET TITLE
SITE
CONTEXT

SHEET
A5
ORIGINAL SHEET SIZE
36" x 36"



SLATE ROOF
MFR: BORAL CONCRETE TILE,
PRODUCT: SAXONY 900
COLOR: "CHARCOAL BROWN BLEND" 1FACS1132



MANUFACTURED STONE SILL
MFR: CULTURED STONE,
PRODUCT: WATERTABLE/SILL
COLOR: "TAUPE"



MANUFACTURED STONE VENEER
MFR: CULTURED STONE,
PRODUCT: PRO-FIT LEDGESTONE
COLOR: "SHALE"



P-2 DUN EDWARDS, DE6128
"SAND DUNE"



P-3 DUN EDWARDS, DE6130
"WOODED ACRE"



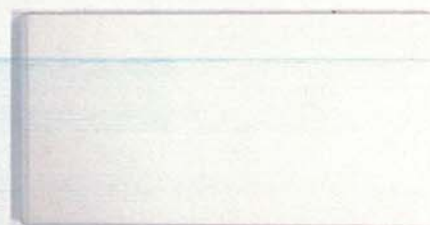
P-4
AWNING FABRIC
"JOCKEY RED"



P-5
AWNING FABRIC
"TRUE BROWN"



P-6 DUN EDWARDS, DEC756
"WEATHERED BROWN"
HIGH GLOSS



ALUM CLEAR ANODIZED ALUMINUM STOREFRONT,
MFR: KAWNEER
COLOR: CLEAR ANODIZED FINISHES

CSH64
1450 HARBOR BOULEVARD, SUITE A
WEST SACRAMENTO, CA 95691-3480
PHONE: 916.231.0881 FAX 208.343.1358

ELITE
CAR WASH

ELITE CARWASH
SEC EIGHT MILE RD. & THORNTON RD.
STOCKTON, CA

COLOR/MATERIAL BOARD

PROJECT 170612
FEBRUARY 19, 2019

SHRUB PALETTE

SHRUB SPECIES	ABRV. SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USAGE
AJ		ARCTOSTAPHYLOS JOHN DOURLEY	LOW GROWING MANZANITA	5 GAL	46	LOW
FS		FEIJOA SELLOWIANA	PINEAPPLE GUAVA	5 GAL	17	LOW
GR		GREVILLEA ROSMARINFOLIA	ROSEMARY GREVILLEA	5 GAL	46	LOW
HP		HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	89	LOW
LS		LAVANDULA S. 'OTTO QUAST'	SPANISH LAVENDER	5 GAL	80	LOW
MR		MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	20	LOW
ND		NANDINA D. 'NANA'	DWARF HEAVENLY BAMBOO	5 GAL	36	LOW
OE		OLEA EUROPAEA 'PETITE OLIVE'	DWARF OLIVE	5 GAL	24	LOW
RC		RHAMNUS I. 'CLARA'	WHITE INDIAN HAWTORN	5 GAL	48	LOW
RO		ROSMARINUS OFFICINALIS 'COLLINGWOOD INGRAM'	DWARF ROSEMARY	5 GAL	88	LOW

GENERAL NOTES:

LANDSCAPE DESIGN PLAN: PLANT MATERIAL IS SELECTED AND LOCATED BASED ON SIMILAR WATER USE WHERE POSSIBLE. PLANTS SELECTED AND PLANTED APPROPRIATELY BASED UPON THEIR ADAPTABILITY TO CLIMATIC, GEOLOGIC, AND TOPOGRAPHICAL CONDITIONS OF THE PROJECT SITE. PLANT SELECTIONS CONSIDER THE FOLLOWING SOURCES: SUNSET WESTERN CLIMATE ZONE SYSTEM, HORTICULTURAL ATTRIBUTES, AND SOLAR ORIENTATION AMONG OTHERS. THE SOIL MUST BE PROPERLY PREPARED AND MULCH APPLIED IN A MINIMUM OF 3" ON ALL EXPOSED SOIL SURFACES.

PLANT LEGEND CROSS-REFERENCED WITH THE CALIFORNIA INVASIVE PLANT COUNCIL AND DOES NOT INCLUDE ANY PLANT SPECIES IDENTIFIED WITH A MODERATE OR HIGH DESIGNATION.

SEE SHEET L-1 FOR GENERAL PLANTING AND IRRIGATION LANDSCAPE SPECIFICATIONS AND SEE SHEET L-5 FOR LANDSCAPE DETAILS.

ETD = STOCKTON, CA 49.1; SUNSET WESTERN CLIMATE ZONE 14; WUCOLS REGION #2 CENTRAL VALLEY
TOTAL LANDSCAPE SQUARE FOOTAGE: 9,782 SF
TOTAL SITE AREA: 41,008 SF

PROPERTY LINE DISCLOSURE:

THE PROPERTY LINES SHOWN ON THESE PLANS WERE PROVIDED BY CSHDA AND ARE FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE ACTUAL PROPERTY LINES. THE ACTUAL PROPERTY LINES CAN ONLY BE ESTABLISHED WITH A BOUNDARY SURVEY.

NOTICE IS HEREBY GIVEN THAT THE DEVELOPER/CONTRACTOR AND/OR HIS SUBCONTRACTORS SHALL ACCEPT FULL RESPONSIBILITY FOR THE LAYOUT OF THE PROJECT. LANDSCAPE ARCHITECT WILL NOT ACCEPT LIABILITY FOR ANY OF THE FACILITIES CONSTRUCTED OUTSIDE OF PROPERTY BY OTHERS, BASED UPON THE INFORMATION CONTAINED HEREIN.

W. 8 MILE ROAD



(NOT A PART OF PROJECT)

3800 ARCO

CARWASH

Stockton, California
ELITE CARWASH
SEC 8 MILE ROAD AND THORNTON ROAD
WPLA
WATKINS LANDSCAPE ARCHITECTURE
230 GLEN ROAD
STOCKTON, CA 95204
(209) 924-1234
WATKINS@ELITEWPLA.COM

PROJECT
1918
DATE
04-20-2020
DRAWN
CHECKED

REVISED

SHEET TITLE
**SHRUB
PLANTING
PLAN**

SHEET

L-3

ORIGINAL SHEET SIZE
24" x 36"