



VICINITY MAP

200 N. WILSON WAY
STOCKTON, CA 95205

PROJECT LOCATION

NORTH WILSON WAY
STOCKTON, CA

PROJECT TEAM

OWNER:
ZM CAR WASHES, LP
7808 KELLY DRIVE, SUITE F
STOCKTON, CA 95207
(209) 474-5822
CONTACT: LORI GUTIERREZ
lori@montyscarwash.com

ARCHITECT:
API
4335-B NORTH STAR WAY
MODESTO, CA 95356
(209) 577-4661
CONTACT: BRIAN ROSENBERGER
brian@apiarc.com

SITE DATA

JURISDICTION: CITY OF STOCKTON
ASSESSORS PARCEL NUMBER: 153-030-30, 153-030-29-111075, 76, 77, 78, 153-030-28, 153-030-27, 153-030-26, 153-030-25, 153-030-24
PROPERTY AREA: 345,900 SQ. FT. / 1.05 AC. (COMBINED TOTAL OF ALL LISTED APN)
BUILDING COVERAGE (OF PROJECT AREA): 4,504 SQ. FT. (9.8%)
LANDSCAPING COVERAGE: +/-11,528 SQ. FT. (25.2%)
HARDSCAPE COVERAGE: +/-29,868 SQ. FT. (65%)
EXISTING ZONE: GENERAL COMMERCIAL (CG) & INDUSTRIAL LIMITED (IL)
PROPOSED REZONE: CG (GENERAL COMMERCIAL)
GENERAL PLAN: COMMERCIAL

BUILDING DATA

BUILDING AREA: 4,504 SQ. FT.
BUILDING USE: CAR WASH FACILITY
BUILDING HEIGHT: 26'-0"
MAXIMUM BUILDING HEIGHT: 35'-0"

PARKING DATA

PARKING REQUIRED
PER STATE OF CALIFORNIA ASSEMBLY BILL 2097, NO OFF-STREET PARKING IS REQUIRED
ON-SITE PARKING PER CITY OF STOCKTON MUNICIPAL CODE: 3 STALLS PER WASH LANE
PARKING REQUIRED: 9 STALLS
PARKING PROVIDED
STANDARD STALLS: 3 STALLS
VACUUM STALLS: 25 STALLS
ACCESSIBLE VACUUM STALL: 1 STALL
VAN ACCESSIBLE VACUUM STALL: 1 STALL
TOTAL: 30 STALLS
PARKING AREA PERIMETER SHALL BE LANDSCAPED AS REQUIRED PER CITY OF STOCKTON DEVELOPMENT CODE 16.64.080(F)(6)

MONTY'S EXPRESS CAR WASH
200 N. WILSON WAY
STOCKTON, CA.



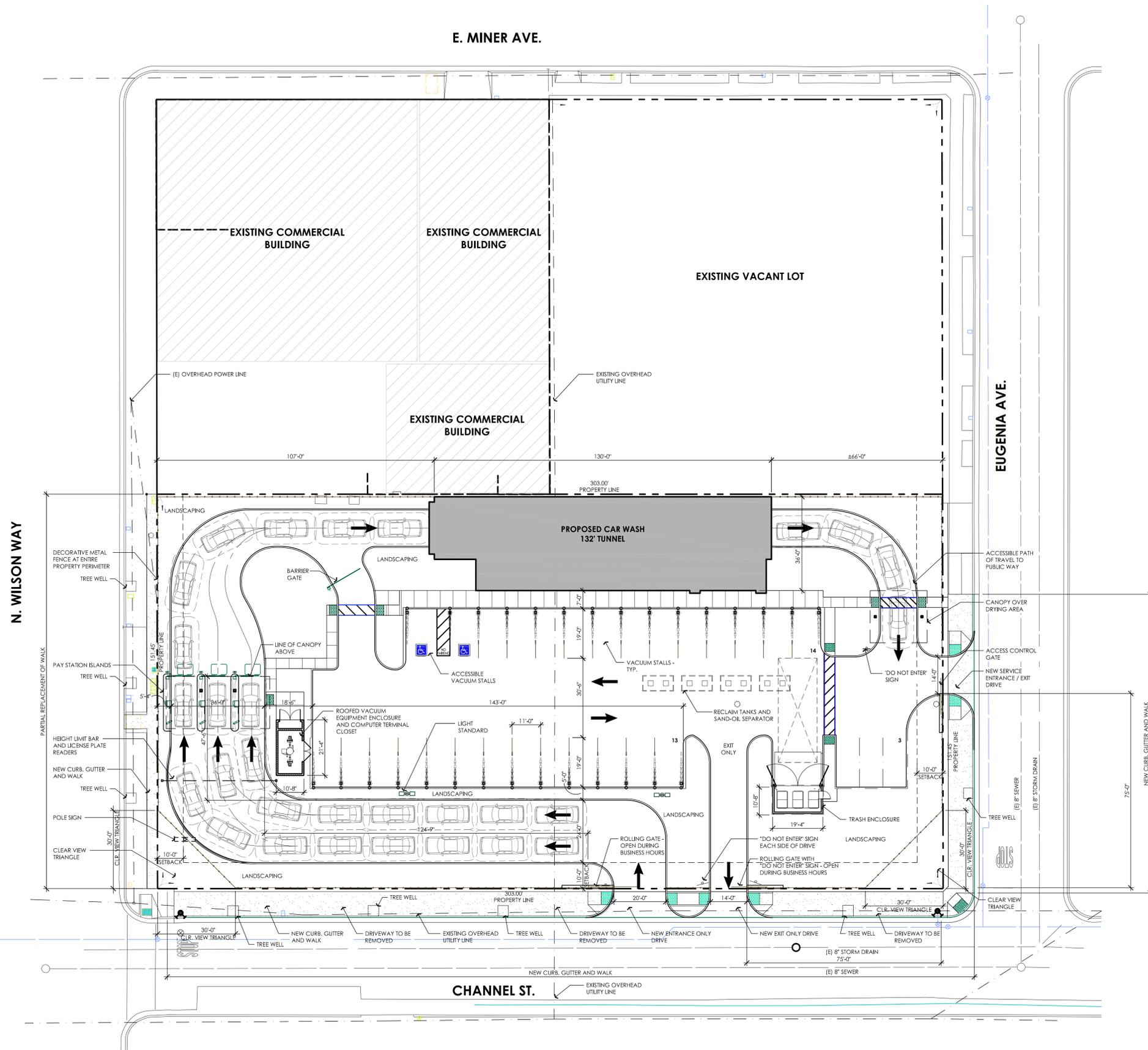
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fx. 209.577.0213

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SHEET:

A1

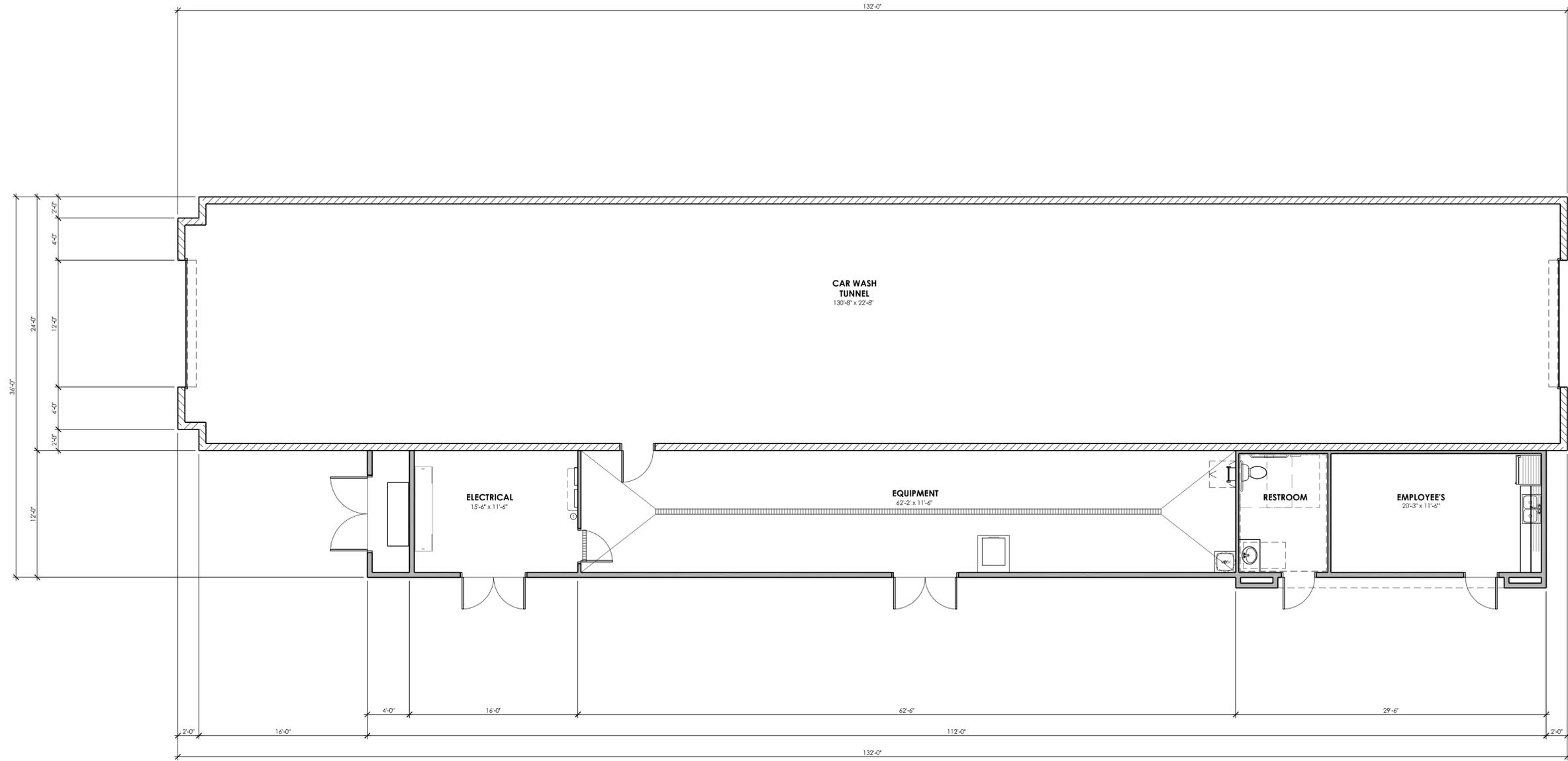


PRELIMINARY SITE PLAN

SCALE: 1" = 20'-0"



3/13/2023 10:01 AM DESIGN/PLAN/PHOTO - ALL/REV 11/15/24 10:28:54 AM Rosenberger



**MONTY'S
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PLANNING ■■■
ARCHITECTURE ■■■

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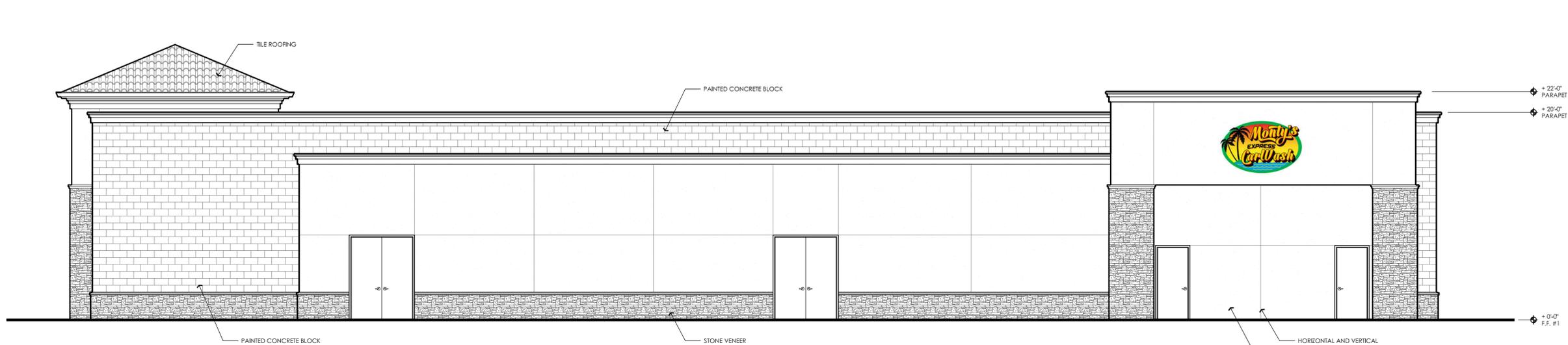
A2

PRELIMINARY FLOOR PLAN

SCALE: 3/16" = 1'-0"

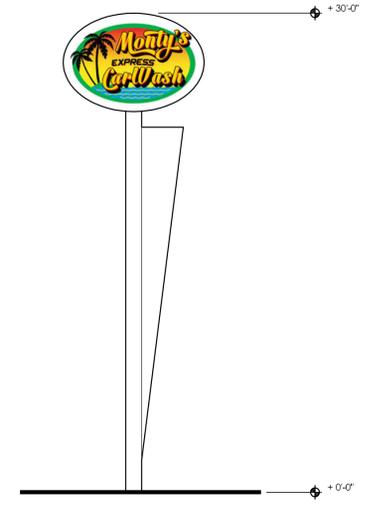


NORTH



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



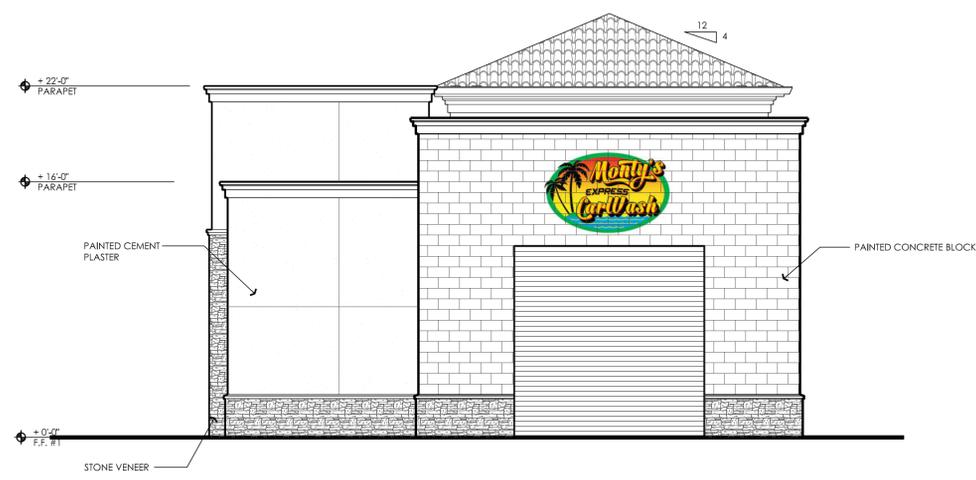
POLE SIGN CONCEPT ELEVATION

SCALE: 3/16" = 1'-0"



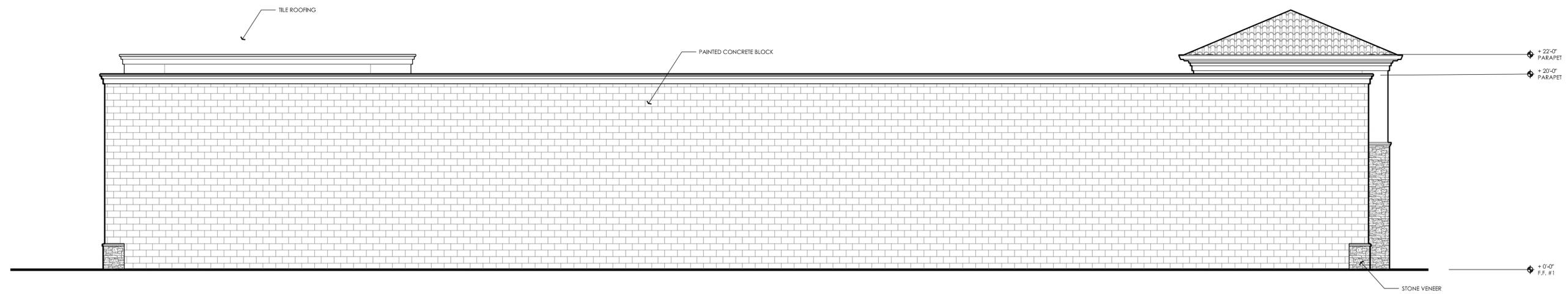
WEST ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"



NORTH ELEVATION

SCALE: 3/16" = 1'-0"

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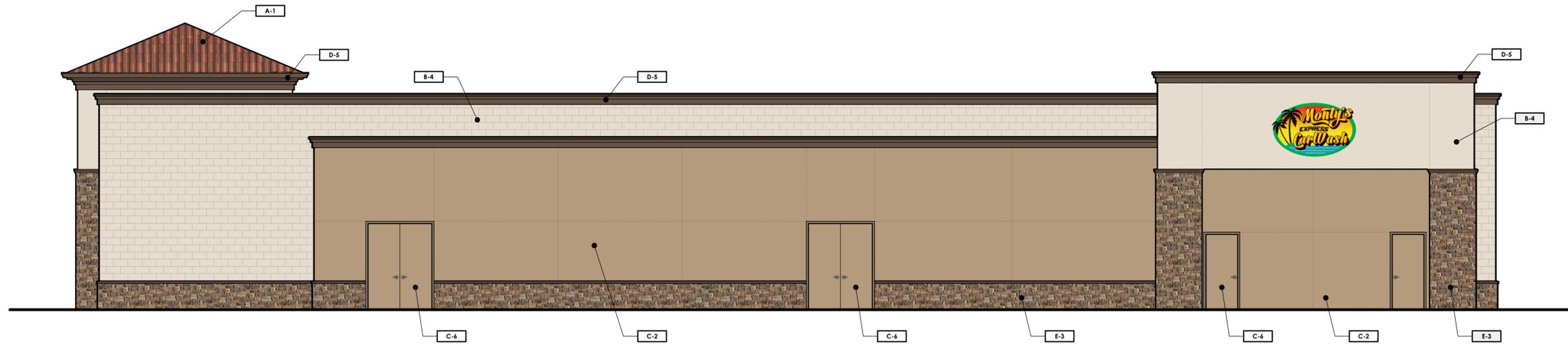
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SHEET:

A3



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"

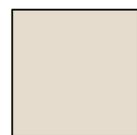
REFERENCE KEY

- 1 COMPOSITE TILE ROOFING
- 2 EXTERIOR CEMENT PLASTER
- 3 MANUFACTURED STONE VENEER
- 4 CONCRETE BLOCK
- 5 PRECAST CONCRETE TRIM
- 6 EXTERIOR DOOR

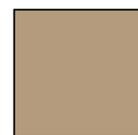
FINISH LEGEND



A
U.S. TILE
2-PIECE MISSION
NEWPORT BLEND



B
DUNN EDWARDS
#DEC 745
BONE



C
DUNN EDWARDS
#DE 1130
WOODED ACRE



D
VEPO
SMOOTH COAT - PAINTED
DUNN EDWARDS
#DEA 161
WILD MUSTANG



E
EL DORADO STONE
FIELDEDGE
VENETO

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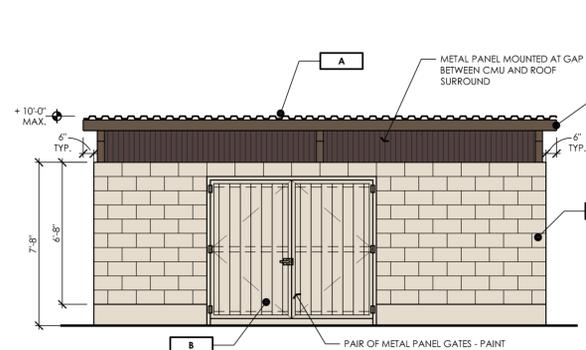
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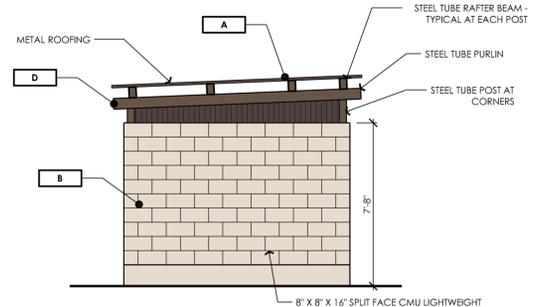
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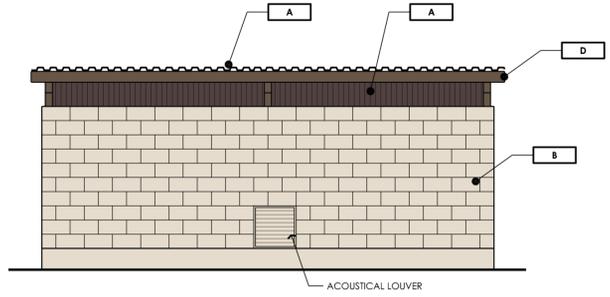
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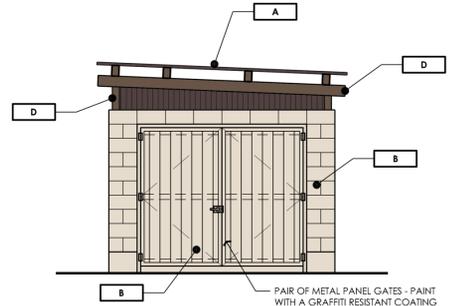
VACUUM ENCLOSURE - FRONT ELEVATION
SCALE: 1/4" = 1'-0"



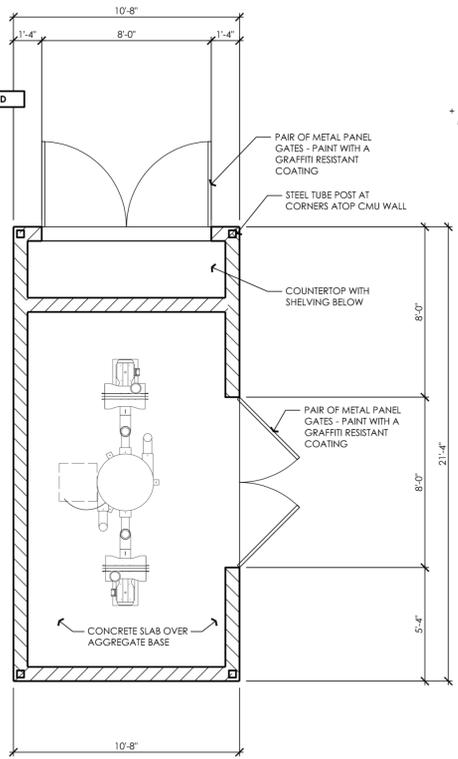
VACUUM ENCLOSURE - SIDE ELEVATION
SCALE: 1/4" = 1'-0"



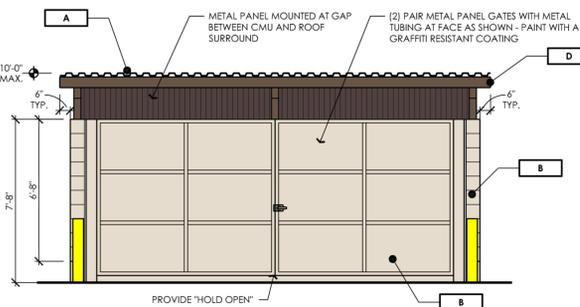
VACUUM ENCLOSURE - BACK ELEVATION
SCALE: 1/4" = 1'-0"



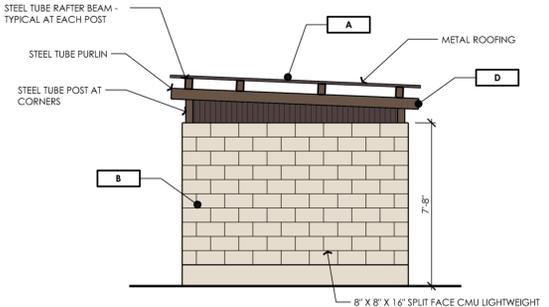
VACUUM ENCLOSURE - SIDE ELEVATION
SCALE: 1/4" = 1'-0"



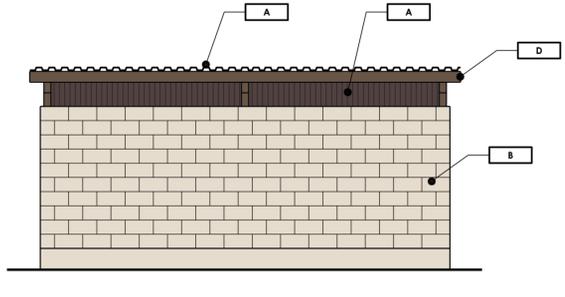
TRASH ENCLOSURE - FLOOR PLAN
SCALE: 1/4" = 1'-0"



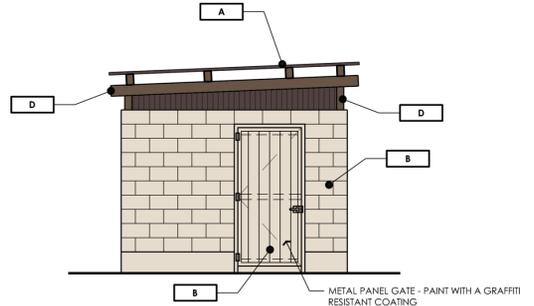
TRASH ENCLOSURE - FRONT ELEVATION
SCALE: 1/4" = 1'-0"



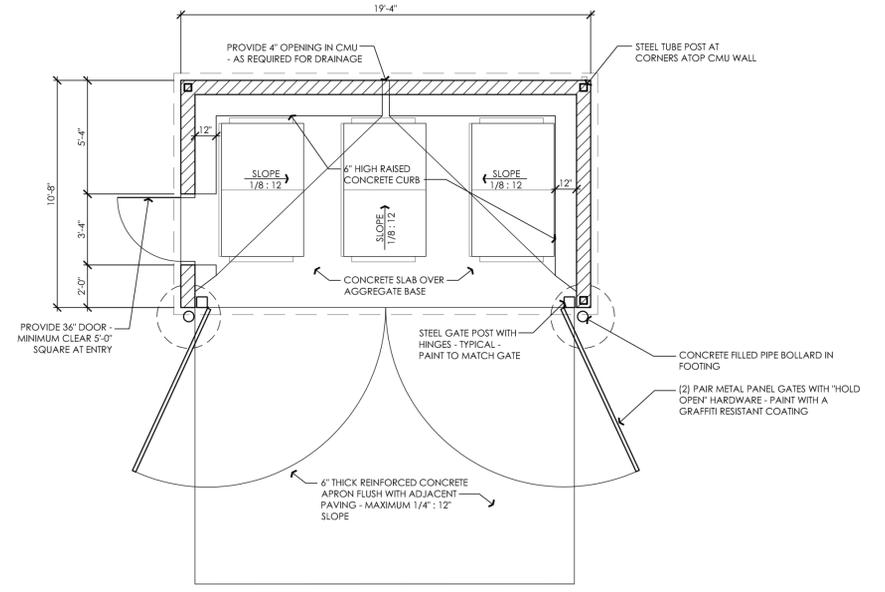
TRASH ENCLOSURE - SIDE ELEVATION
SCALE: 1/4" = 1'-0"



TRASH ENCLOSURE - BACK ELEVATION
SCALE: 1/4" = 1'-0"

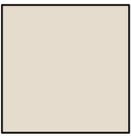
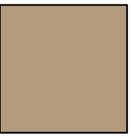


TRASH ENCLOSURE - SIDE ELEVATION
SCALE: 1/4" = 1'-0"



TRASH ENCLOSURE - FLOOR PLAN
SCALE: 1/4" = 1'-0"

FINISH LEGEND

			
A MBCI 7.2 PANEL RIBBED METAL ROOFING BURNISHED SLATE	B DUNN EDWARDS #DEC 765 BONE	C DUNN EDWARDS #DE 6130 WOODED ACRE	D DUNN EDWARDS #IDA 161 WILD MUSTANG

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SHEET:
A6



NORTH WILSON WY.



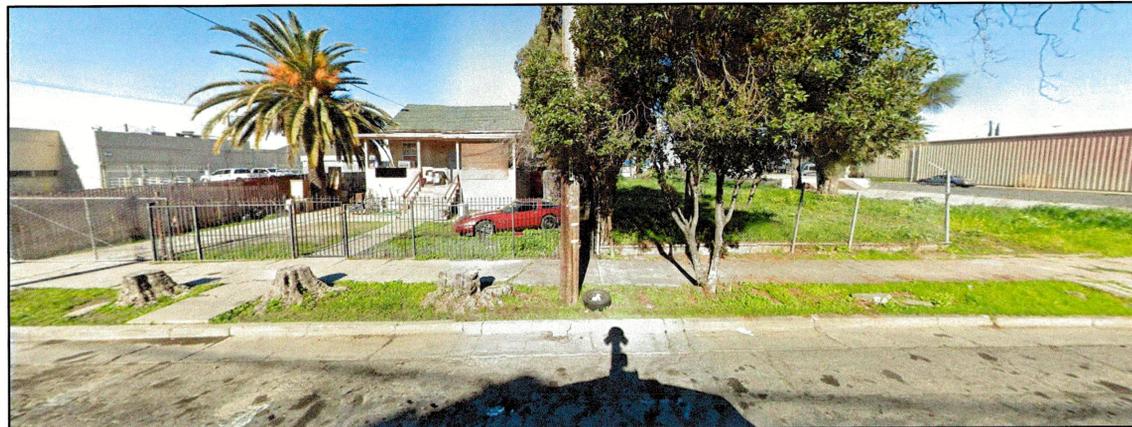
CORNER OF NORTH WILSON WY. & CHANNEL ST.



1501 CHANNEL ST.



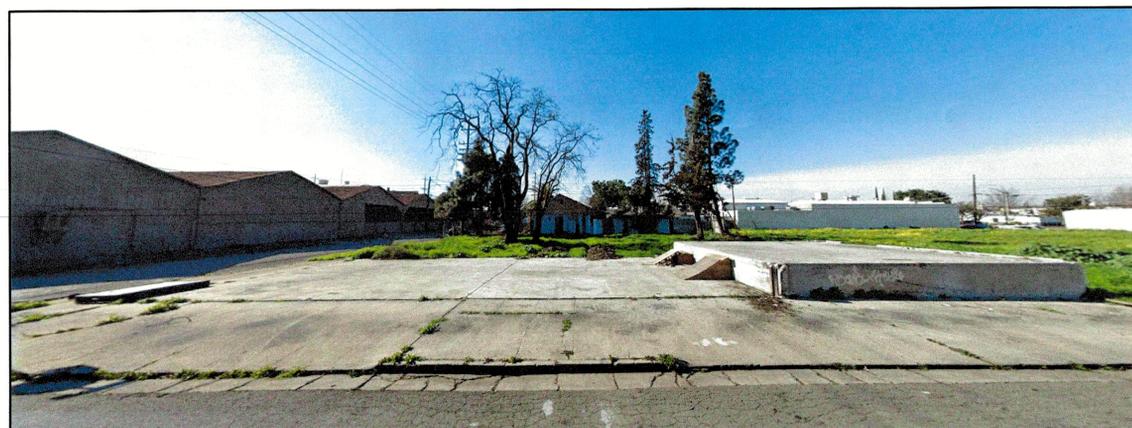
1505 CHANNEL ST.



1527 CHANNEL ST.



CORNER OF CHANNEL ST. & EUGENIA AVE.



230 EUGENIA AVE.



221 EUGENIA AVE.

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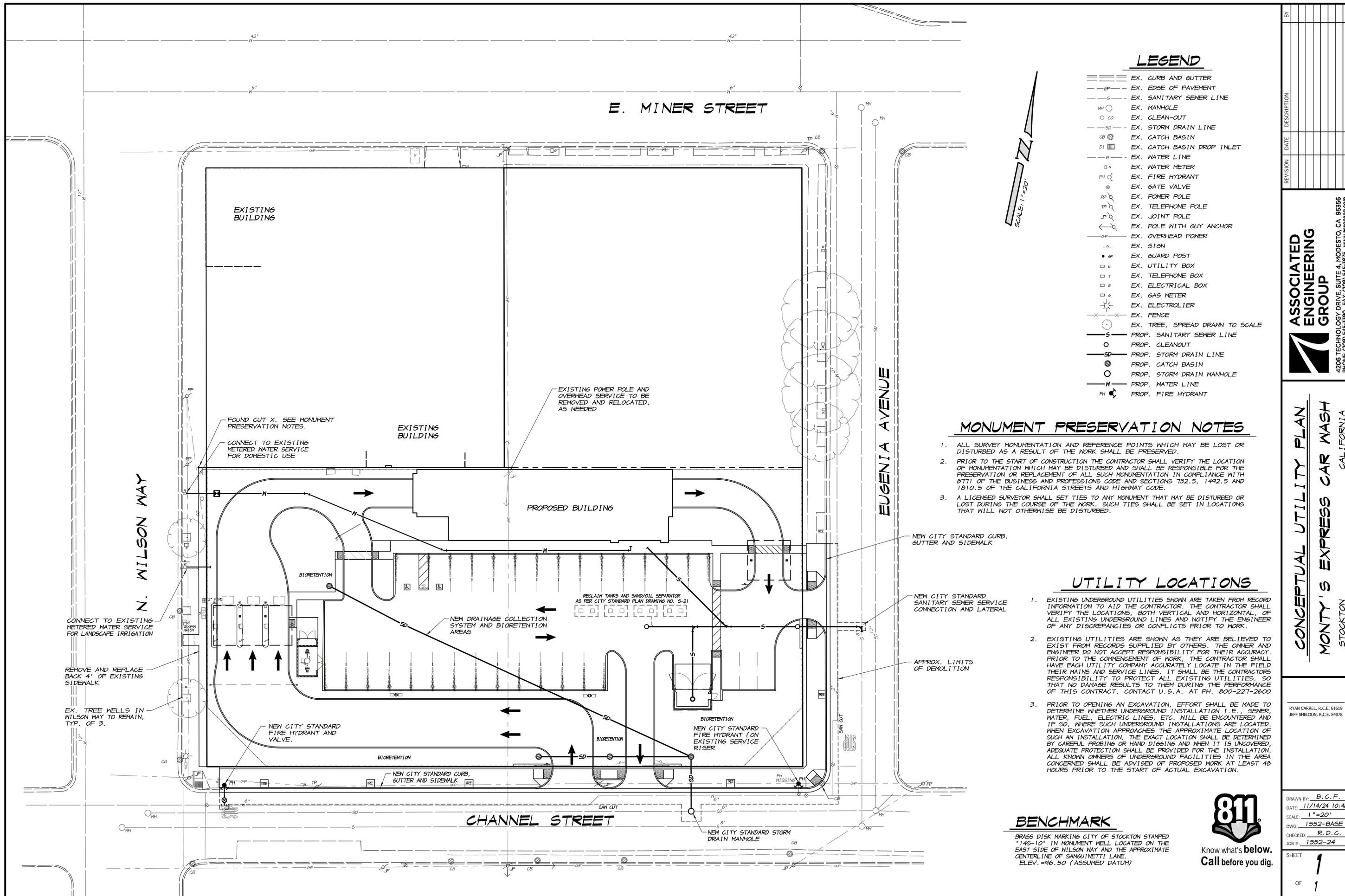
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SHEET:

A7



LEGEND

- EX. CURB AND GUTTER
- EX. EDGE OF PAVEMENT
- EX. SANITARY SEWER LINE
- EX. MANHOLE
- EX. CLEAN-OUT
- EX. STORM DRAIN LINE
- EX. CATCH BASIN
- EX. CATCH BASIN DROP INLET
- EX. WATER LINE
- EX. WATER METER
- EX. FIRE HYDRANT
- EX. GATE VALVE
- EX. POWER POLE
- EX. TELEPHONE POLE
- EX. JOINT POLE
- EX. POLE WITH GUY ANCHOR
- EX. OVERHEAD POWER
- EX. SIGN
- EX. GUARD POST
- EX. UTILITY BOX
- EX. TELEPHONE BOX
- EX. ELECTRICAL BOX
- EX. GAS METER
- EX. ELECTROLIER
- EX. FENCE
- EX. TREE, SPREAD DRAWN TO SCALE
- PROP. SANITARY SEWER LINE
- PROP. CLEANOUT
- PROP. STORM DRAIN LINE
- PROP. CATCH BASIN
- PROP. STORM DRAIN MANHOLE
- PROP. WATER LINE
- PROP. FIRE HYDRANT

MONUMENT PRESERVATION NOTES

- ALL SURVEY MONUMENTATION AND REFERENCE POINTS WHICH MAY BE LOST OR DISTURBED AS A RESULT OF THE WORK SHALL BE PRESERVED.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE LOCATION OF MONUMENTATION WHICH MAY BE DISTURBED AND SHALL BE RESPONSIBLE FOR THE PRESERVATION OR REPLACEMENT OF ALL SUCH MONUMENTATION IN COMPLIANCE WITH 8711 OF THE BUSINESS AND PROFESSIONS CODE AND SECTIONS 732.5, 1492.5 AND 1810.5 OF THE CALIFORNIA STREETS AND HIGHWAY CODE.
- A LICENSED SURVEYOR SHALL SET TIES TO ANY MONUMENT THAT MAY BE DISTURBED OR LOST DURING THE COURSE OF THE WORK. SUCH TIES SHALL BE SET IN LOCATIONS THAT WILL NOT OTHERWISE BE DISTURBED.

UTILITY LOCATIONS

- EXISTING UNDERGROUND UTILITIES SHOWN ARE TAKEN FROM RECORD INFORMATION TO AID THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, BOTH VERTICAL AND HORIZONTAL, OF ALL EXISTING UNDERGROUND LINES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO WORK.
- EXISTING UTILITIES ARE SHOWN AS THEY ARE BELIEVED TO EXIST FROM RECORDS SUPPLIED BY OTHERS. THE OWNER AND ENGINEER DO NOT ACCEPT RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL HAVE EACH UTILITY COMPANY ACCURATELY LOCATE IN THE FIELD THEIR MAINS AND SERVICE LINES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES, SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. CONTACT U.S.A. AT PH. 800-227-2600
- PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATION I.E., SEWER, WATER, FUEL, ELECTRIC LINES, ETC. WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING AND WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.

BENCHMARK

BRASS DISK MARKING CITY OF STOCKTON STAMPED 1.45-10" IN MONUMENT WELL LOCATED ON THE EAST SIDE OF WILSON WAY AND THE APPROXIMATE CENTERLINE OF SANGUINETTI LANE. ELEV. = 96.50 (ASSUMED DATUM)



Know what's below. Call before you dig.

REVISION	DATE	DESCRIPTION

ASSOCIATED ENGINEERING GROUP
 4206 TECHNOLOGY DRIVE, SUITE 4, MODESTO, CA 95356
 PHONE: (209) 545-3390 FAX: (209) 545-3875 www.aegeng.com

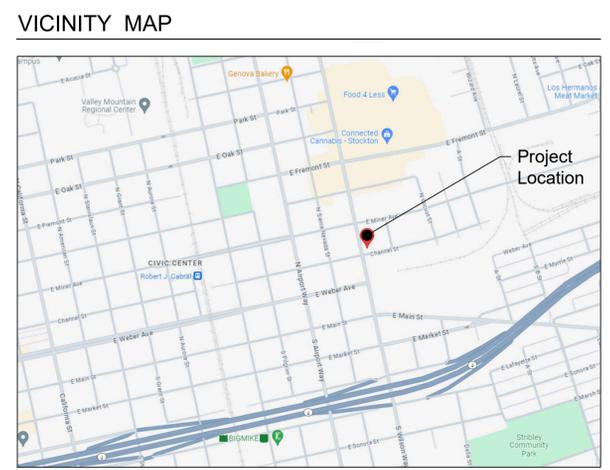
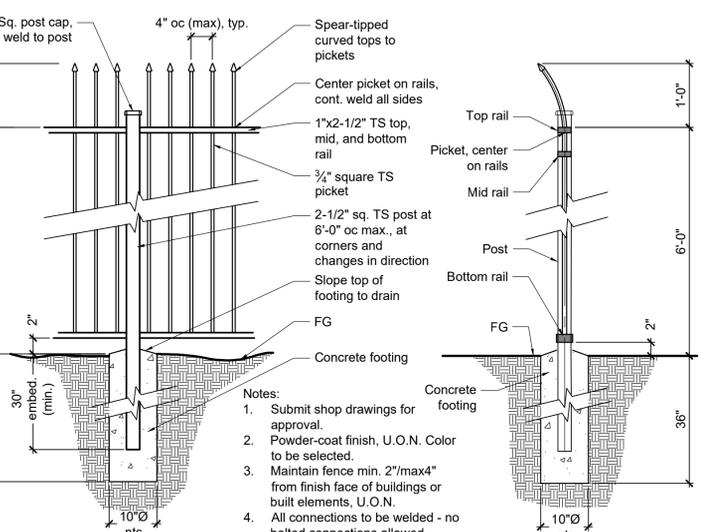
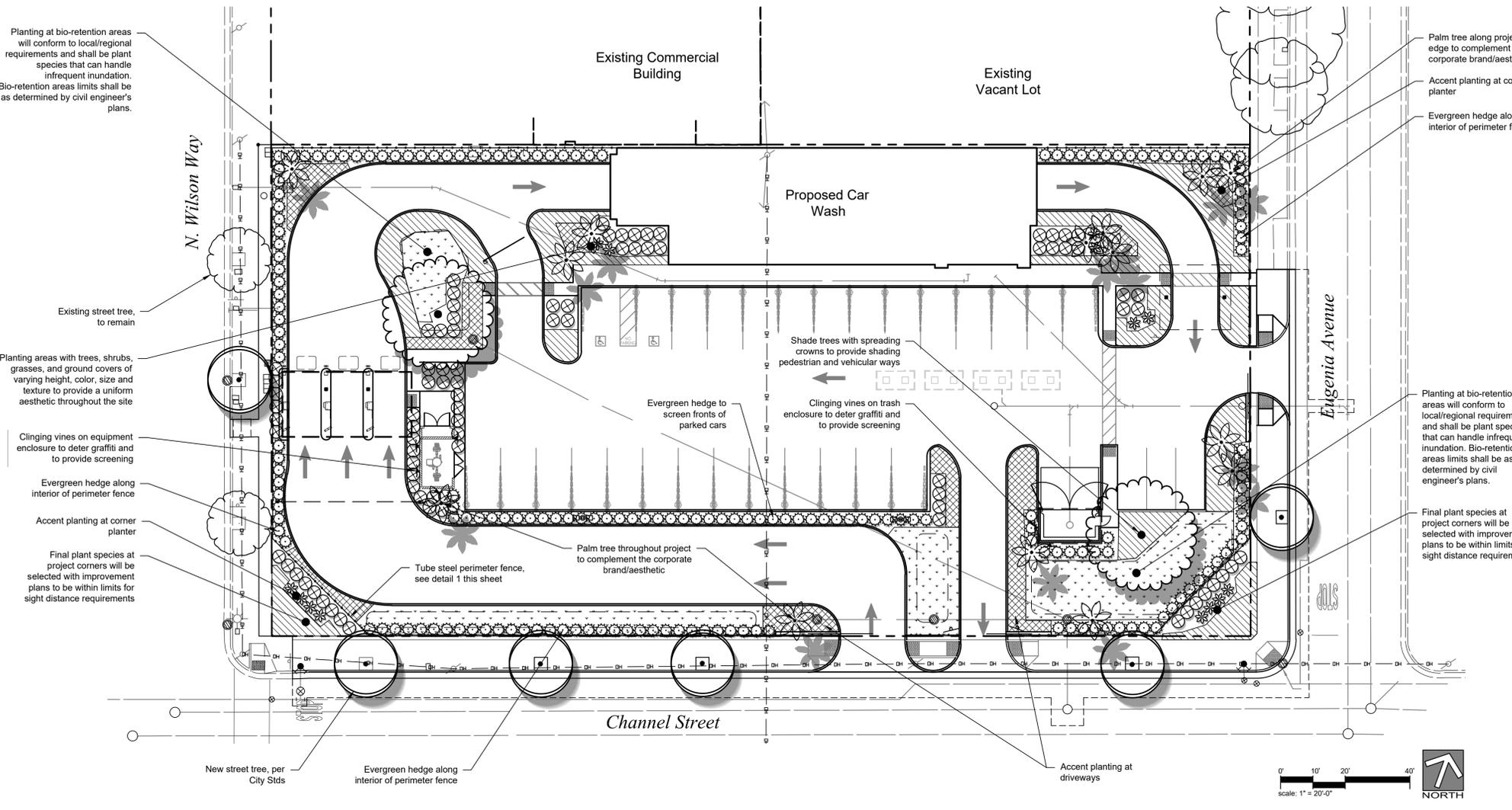
CONCEPTUAL UTILITY PLAN
MONTY'S EXPRESS CAR WASH
 STOCKTON CALIFORNIA

RYAN CARREL, R.C.E. 61619
 JEFF SHELDON, R.C.E. 84078

DRAWN BY: B.C.F.
 DATE: 11/14/24 10:48
 SCALE: 1"=20'
 DWG: 1552-BASE
 CHECKED: R.D.C.
 JOB #: 1552-24
 SHEET 1
 OF 1

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING	WUCOLS
TREES							
[Symbol]	SHADE TREE			2			
	ACE OGL	Acer rubrum 'October Glory'	October Glory Red Maple		15 gal.	35'	Moderate
	CIN CAM	Cinnamomum camphora	Camphor Tree		15 gal.	35'	Moderate
ZEL VIL	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova		15 gal.	35'	Moderate	
[Symbol]	PALM TREE			14			
	CHA HUM	Chamaerops humilis	Mediterranean Fan Palm		24" box	per plan	Low
TRA FOR	Trachycarpus fortunei	Windmill Palm		24" box	per plan	Moderate	
[Symbol]	STREET TREE			6			
	ACE COL	Acer platanoides 'Columnare'	Columnar Norway Maple		15 gal.	per plan	Moderate
	ACE CRK	Acer platanoides 'Crimson King'	Crimson King Norway Maple		15 gal.	per plan	Moderate
GEI PAR	Geijera parviflora	Australian Willow		15 gal.	per plan	Low	
SHRUBS							
[Symbol]	ACCENT SHRUB			14			
	Cal kar	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass		5 gal.	4'	Low
	Muh cap	Muhlenbergia capillaris	Pink Muhly Grass		5 gal.	5'	Low
	Per atr	Perovskia atriplicifolia	Russian Sage		5 gal.	6'	Low
	Pho ten	Phormium tenax spp.	New Zealand Flax, medium size		5 gal.	4'	Low
Ros wht	Rosa x 'Flower Carpet'	Flower Carpet Rose - White		5 gal.	3'	Moderate	
[Symbol]	EVERGREEN SHRUB/HEDGE			184			
	Cal ljn	Callistemon viminalis 'Little John'	Little John Weeping Bottlebrush		5 gal.	4'	Low
	Lig vec	Ligustrum japonicum 'Texanum'	Texanum Privet		5 gal.	4'	Low
	Ole lit	Olea europaea 'Little Ollie' TM	Little Ollie Olive		5 gal.	5'	Low
Rha min	Rhaphiolepis umbellata 'Minor'	Dwarf Yedda Hawthorn		5 gal.	4'	Low	
[Symbol]	INFILL SHRUB			83			
	Die iri	Diets iridioides	Fortnight Lily		5 gal.	3'	Low
	Pit whd	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Pittosporum		5 gal.	4'	Moderate
Rha ind	Rhaphiolepis indica	Indian Hawthorn		5 gal.	4'	Moderate	
VINE							
[Symbol]	Fic pum	Ficus pumila	Creeping Fig		5 gal.	8'	Moderate
	Par tri	Parthenocissus tricuspidata	Boston Ivy		5 gal.	8'	Moderate
GROUND COVERS							
[Symbol]	LOW EVERGREEN GROUND COVER			2,885 sf			
	Cop var	Coprosma kirkii 'Variegata'	Creeping Mirror Plant		46	1 gal.	48"
	Cot low	Cotoneaster dammeri 'Lowfast'	Lowfast Bearberry Cotoneaster		46	1 gal.	48"
	Jun blu	Juniperus horizontalis 'Blue Rug'	Blue Rug Juniper		83	1 gal.	36"
	Myo par	Myoporum parvifolium	Trailing Myoporum		46	1 gal.	48"
[Symbol]	ACCENT GROUND COVER			1,452 sf			
	Hem yel	Hemerocallis x 'Evergreen Yellow'	Evergreen Yellow Daylily		29	1 gal.	36"
	Lom ira	Lomandra longifolia 'Breeze' TM	Breeze Mat Rush		29	1 gal.	36"
	Pho spr	Phormium tenax 'Jack Spratt'	New Zealand Flax		62	1 gal.	24"
	Teu cha	Teucrium chamaedrys	Germander		65	1 gal.	24"
	Tul var	Tulbaghia violacea 'Variegata'	Striped Society Garlic		109	1 gal.	18"
Ver hyb	Verbena x hybrida	Verbena		65	1 gal.	24"	
[Symbol]	BIO-RETENTION AREA			3,428 sf			
	Car tum	Carex tumulicola	Foothill Sedge		223	1 gal.	24"
	Cho tcl	Chondropetalum tectorum	Small Cape Rush		55	1 gal.	48"
	Jun car	Juncus patens 'Carman's Grey'	Spreading Rush		100	1 gal.	36"
	Muh rig	Muhlenbergia rigens	Deer Grass		55	1 gal.	48"



WATER EFFICIENT LANDSCAPE ORDINANCE WORKSHEET

Reference Evapotranspiration	49.1 in/yr	ETAF _{req}	Maximum Allowed ETAF	0.45			
Hydro-zone (see desc. below)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas ("RLA") - See Hydrozone Descriptions for Referenced Numbers							
Shrub	0.50	Drip	0.81	0.62	0 sf	0.00	0 gals
Shrubs	0.30	Drip	0.81	0.37	5,663 sf	2,097.41	63,849 gals
Bioswale	0.40	Drip	0.81	0.49	6,837 sf	3,376.30	102,781 gals
				Sub-totals	12,500.00	5,473.70	166,630 gals
Special Landscape Areas ("SLA")							
SLA1				1.00	0 sf	0.00	0 gals
				Sub-totals	0 sf	0.00	0 gals
					Total Landscape Area (RLA+SLA)	12,500 sf	5,473.70
						ETWU Total	166,630 gals
						Maximum Allowed Water Allowance (MAWA)	171,236 gals
MAWA							
MAXIMUM ALLOWABLE WATER CALCULATION ("MAWA")							
MAWA	=	(E _{to})	(0.62)	[(ETAF x LA) + ((1-ETAF) x SLA)]			
171,236 gal/yr		49.1 in/yr	0.62	0.45	12,500 sf	0.55	0 sf
ETAF							
ETAF CALCULATIONS							
Regular Landscape Area (RLA) ETAF					Max Allowed ETAF		
Total ETAF x RLA		5473.70					
Divided by Total RLA		12,500 sf					
Average ETAF (RLA)		0.44	0.45				If Average ETAF is less than Max. Allowed ETAF the Project complies with WELO

WELO COMPLIANCE

This project has been designed to conform with the State's Model Water Efficient Landscape Ordinance (MWELO).

IRRIGATION DESIGN
The irrigation on the site will use drip irrigation, will meet the City's requirements, and will comply with the requirements of WELO. Equipment will include dedicated irrigation meter, smart controller, weather sensor, and efficient irrigation emitters, nozzles, and other equipment.

PLANTING DESIGN
The landscape design uses water-wise plant species suitable for this region and that are low maintenance and durable, uses trees to shade paved areas, and plants have been grouped into hydro-zones. References used for the landscape design include published information from the local jurisdiction, Sunset Western Garden Book and WUCOLS.

LANDSCAPE AREA CALCULATIONS

Total Site Area: 45,900 sf.
Total Landscape Area: 12,500 sf.
Irrigated bio-retention area: 6,387 sf.
Percentage of Total Site as Landscape: 27 %

PARKING LOT TREE REQUIREMENTS

Number parking spaces: 3
Req'd trees (1 tree per 5 parking spaces): 1
Trees Provided: 1

1 TUBE STEEL SECURITY FENCE nts P-SH-04

Preliminary Landscape Plan

