



**1 EAST EXTERIOR ELEVATION**  
CE1 SCALE: 1/8" = 1'-0"



**2 NORTH EXTERIOR ELEVATION**  
CE1 SCALE: 1/8" = 1'-0"








**3 WEST EXTERIOR ELEVATION**  
CE1 SCALE: 1/8" = 1'-0"



**4 SOUTH EXTERIOR ELEVATION**  
CE1 SCALE: 1/8" = 1'-0"

**FINISH LEGEND:**

	FIELD BLOCK -	PAINTED SPLIT FACE C.M.U. COLOR: SHERWIN WILLIAMS "LATTE" SW6108
	ACCENT BLOCK -	PAINTED SMOOTH FACE C.M.U. COLOR: SHERWIN WILLIAMS "SOFTER TAN" SW6141
	EIFS AROUND SIGN -	CUSTOM RED MIX BY DRYVIT ORAP011030S SHERWIN WILLIAMS "POSITIVE RED" SW6871
	STOREFRONT -	KAWNEER "DARK IVY"
	STONE VENEER -	ELDORADO STONE RUSTIC LEDGE "SAWTOOTH"



FRONT



SIDES



REAR

**5 DUMPSTER ENCLOSURE ELEVATIONS**  
CE1 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



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PROJECT:  
**NEW O'REILLY AUTO PARTS STORE**  
**THORNTON ROAD**  
**STOCKTON, CA #6**

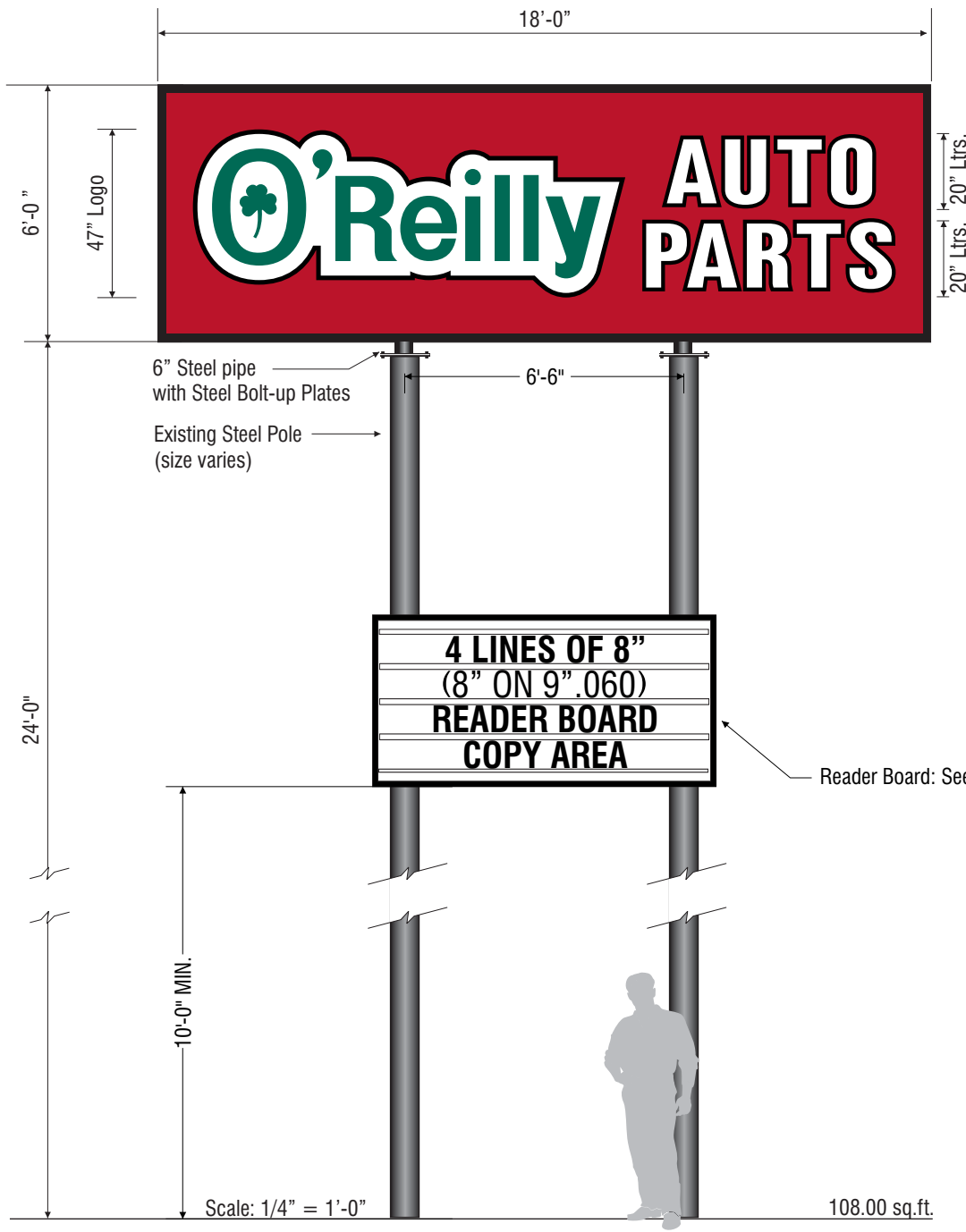
**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

COMM #	
DATE:	10-5-16
REVISION	
DATE:	10-6-2020
	2-9-2021
	7-2-21
	7-21-21
	8-22-21

CE1



# Attachment D



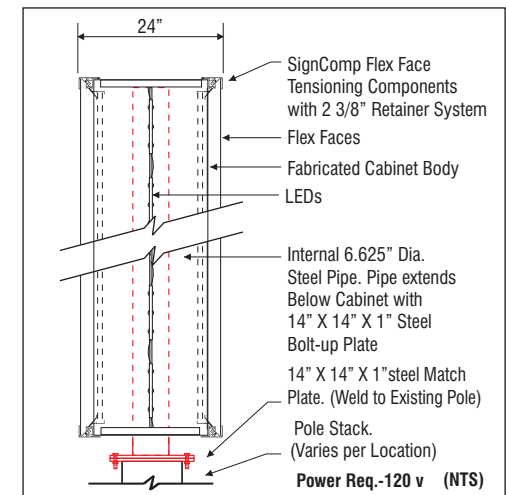
## C-130

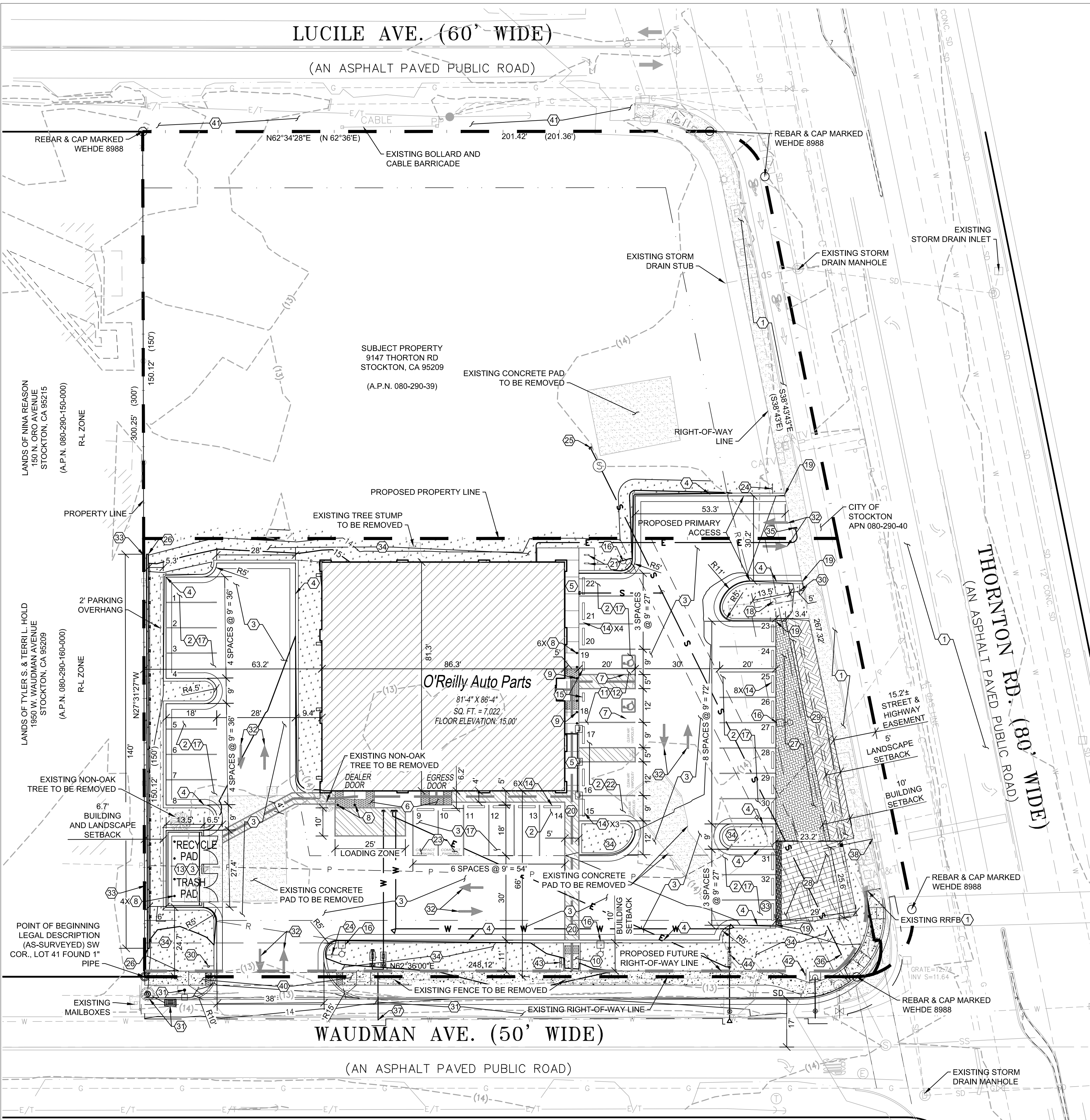
**One Standard Pole Sign Cabinet**  
**6'-0" x 18'-0" Display**  
**6\_18-SignCabinet-FF-DF**  
**108.00 sq.ft.**

**Manufacture and supply one (1) new d/f illum. cabinet with flex faces.**

- Faces are Panaflex/Digital print. Face graphics to match PMS 200c Red, PMS 342c Green, Black and White.
- 24" deep fabricated cabinet with SignComp flex face tensioning components and 2 3/8" retainer system. Internal 6.625 steel pipe with external 14"x14"x1" steel bolt-up plate(s) for C-130 load ratings. Vertical GE (GEWHDSPS) White DS LED illumination. Paint cabinet to: **Gloss Black**.
- Cabinet to be installed with steel bolt-up plates. Paint to: **Gloss Black**
- See page 3-4 for Reader board requirements.

*\*See page 2 of 4 for plate details*





### KEY NOTES:

- PROTECT EXISTING IMPROVEMENTS IN PLACE.
- CONCRETE PAVING (STANDARD DUTY) AT PARKING AREAS, REFER TO DETAIL 1/C2.2.
- CONCRETE PAVING(HEAVY DUTY) AT DRIVE AREAS, AND REFUSE AREA, REFER TO DETAIL 2/C2.2.
- CONCRETE CURB, REFER TO DETAIL 3/C2.2.
- CONCRETE SIDEWALK, REFER TO DETAIL 4/C2.2. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF CONTROL AND EXPANSION JOINTS ADJACENT TO BUILDING PERIMETER.
- CONCRETE DOOR LANDING, REFER TO DETAIL 4/C2.2 AND STRUCTURAL DRAWINGS. LANDING MAY BE POURED MONOLITHIC WITH PAVING IF CONCRETE PAVING IS PROVIDED.
- ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING, REFER TO DETAIL 5/C2.2.
- STEEL BOLLARD, REFER TO DETAIL 6/C2.2. PROVIDE (4) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (6) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.
- ACCESSIBLE PARKING SIGN, REFER TO DETAIL 7/C2.2.
- ACCESSIBLE CONCRETE CURB RAMP PER DETAIL 8/C2.2.
- ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY ( ADA COMPLIANT ) THE LOADING AND UNLOADING ACCESS AISLE SHALL BE MARKED BY A BORDER PAINTED BLUE. HATCHED LINES A MAXIMUM OF 38" O.C. SHALL BE PAINTED A COLOR CONTRASTING WITH PARKING SURFACE, PREFERABLY BLUE OR WHITE WITHIN THE BLUE BORDER. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE GROUND WITH LETTERS NO LESS THAN 12" IN HEIGHT.
- MASONRY REFUSE ENCLOSURE 6'-0" TALL MASONRY ENCLOSURE PER DETAIL 1/C2.3.
- CONCRETE BUMPER BLOCK: 8"W X 5"H X 6'-0" LONG CONCRETE. ANCHOR TO PAVING WITH ( 2 ) 1'-6" LONG #4 REBAR (TO SIT LEVEL WITH PAVING).
- PROVIDE 8"W X 5"H X 3'-0" LONG CONCRETE BUMPER BLOCK AT ACCESSIBLE PARKING AREAS.
- PARKING LOT LIGHTING.
- 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- SITE POLE SIGN.
- ROLL DOWN CURB END TRANSITION SLOPING 1:2.
- 5'-0" WIDE STRIPED PEDESTRIAN PATH. PROVIDE 4" STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - YELLOW ( 2 COATS )
- BICYCLE PARKING: EQUAL TO COLUMBIA CASCADE 2170-3-C. POWDER COATED COLOR TO BE EVERGREEN. REFER TO DETAIL 9/C2.2.
- CLEAN AIR VEHICLE PARKING SPACE: PAINT TEXT ON PAVEMENT IN 24" TALL LETTERS AS SHOWN. PER THE CALIFORNIA GREEN BUILDING CODE. USE HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- PAVEMENT MARKING: PROVIDE PAVEMENT MARKING "COMPACT PARKING"
- ACCESSIBLE TOW-AWAY SIGN: POST AT ENTRANCE TO OFF-STREET PARKING FACILITIES. REFER TO DETAIL 10/C2.2.
- PROPOSED SANITARY SEWER STUB.
- PROVIDE 8' MASONRY SCREEN WALL.
- PROVIDE A VEGETATED BUFFER STRIP AS SHOWN HEREON IN ACCORDANCE WITH CITY OF STOCKTON & COUNTY OF SAN JOAQUIN'S FINAL STORMWATER QUALITY CONTROL CRITERIA PLAN (V-6).
- PROVIDE A GRASSY FILTER STRIP AS SHOWN HEREON IN ACCORDANCE WITH CITY OF STOCKTON & COUNTY OF SAN JOAQUIN'S FINAL STORMWATER QUALITY CONTROL CRITERIA PLAN (L-9).
- PROVIDE A 1' WIDE GRASSY SWALE AS SHOWN HEREON IN ACCORDANCE WITH CITY OF STOCKTON & COUNTY OF SAN JOAQUIN'S FINAL STORMWATER QUALITY CONTROL CRITERIA PLAN (L-8).
- PROPOSED STOP SIGN.
- IMPROVEMENTS WITHIN THE WAUDMAN AVE. RIGHT-OF-WAY TO BE COORDINATED WITH CITY OF STOCKTON.
- DIRECTIONAL TRAFFIC FLOW ARROWS FOR REFERENCE ONLY. DO NOT INSTALL PAVEMENT MARKING.
- EXISTING FENCE & VEGETATION ON PROPERTY LINE TO BE PROTECTED IN-PLACE.
- PROVIDE LANDSCAPING.
- PROPOSED ELECTRICAL CONNECTION
- PROPOSED SANITARY CONNECTION
- PROPOSED WATER LINE CONNECTION
- PROPOSED STORM DRAIN CONNECTION
- PROPOSED CONCRETE CURB RAMP PER CITY OF STOCKTON DETAIL R-13.
- BOLLARDS AND CABLE DRIVE BARRICADE, PROPOSED BARRICADE TO PREVENT SITE ACCESS FROM LUCILE AVE.
- RELOCATED EXISTING "COMMERCIAL VEHICLE OVER 7 TONS PROHIBITED" SIGN.
- PROVIDE ADA PATH SIGN AT ENTRANCE TO SITE, REFER TO DETAIL 13/C2.2.
- PROPOSED 8" Ø FIRE SERVICE, DODA AND FDC PER CITY OF STOCKTON STANDARD DRAWING NO W-17.

### SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING  
CONDITION SYMBOLS LEGEND

	NEW BUILDING CONSTRUCTION		NEW CONCRETE PARKING BLOCK		VEGETATED BUFFER STRIP
	NEW POLE SIGN LOCATION		NEW LIGHT POLE LOCATION		GRASSY SWALE
			LANDSCAPE AREA		GRASSY FILTER STRIP

### LOT COVERAGE NOTE:

TOTAL SITE AREA BEFORE DEDICATION = 1.702 ACRES = 74,161 SQFT  
TOTAL SITE AREA AFTER DEDICATION = 1.586 ACRES = 69,084.72 SQFT  
TOTAL LANDSCAPE AREA = 0.899 ACRES = 39,146.17 SQFT  
TOTAL IMPERVIOUS AREA = 0.687 ACRES = 29,938.55 SQFT  
TOTAL IMPERVIOUS PERCENTAGE = 43.3%

### BASIS OF BEARING:

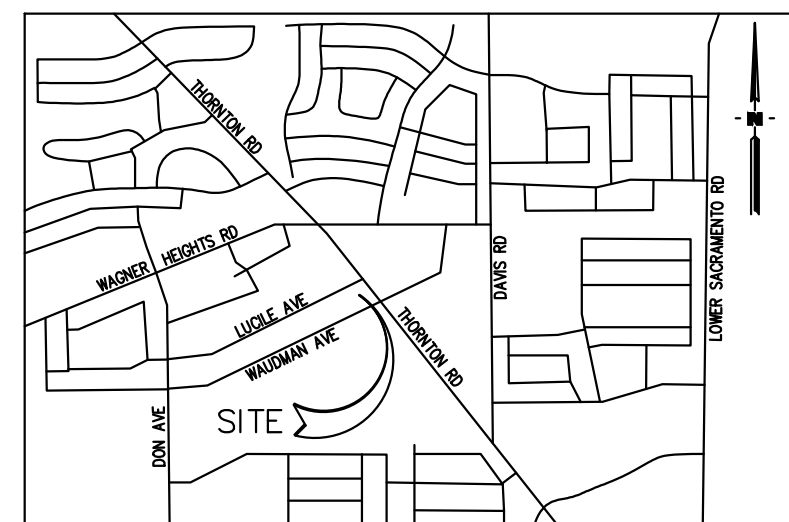
CONSIDERED AS BEING NORTH 62°36'00" EAST ALONG THE CENTERLINE OF WAUDMAN AVENUE AS SHOWN ON THAT PARCEL MAP RECORDED IN BOOK 13 OF PARCEL MAPS, PAGE 167, SAN JOAQUIN COUNTY, CALIFORNIA RECORDS.

### 1 CONCEPTUAL SITE PLAN

FLOODPLAIN NOTE:  
THE PROPOSED PROPERTY IS IN FLOOD ZONE X, AND IS IN AN AREA OF REDUCED FLOOD RISK DUE TO THE LEVEE, PER FEMA FLOOD MAP 06077C0315F DATED 10/16/2009 AND UPDATED BY LOMA 15-09-848A EFFECTIVE 5/7/2015

### PROJECT NARRATIVE

THE PROPOSED O'REILLY AUTO PARTS IS A PORTION OF THE SOUTH HALF OF SECTION 8, TOWNSHIP 2 NORTH, RANGE 6 EAST, MOUNT DIABLO BASE AND MERIDIAN IN THE CITY OF STOCKTON, SAN JOAQUIN COUNTY, STATE OF CALIFORNIA. THE STORE IS LOCATED AT THE NORTHWEST CORNER OF THORNTON ROAD AND WAUDMAN AVENUE. THE PROJECT WILL DEVELOP 0.87 ACRES OF THE OVERALL 1.70 ACRE SITE. THE EXISTING SITE IS PARTIALLY VACANT LOT WITH SOME REMNANT CONCRETE FLATWORK, THE PROPOSED IMPROVEMENTS INCLUDE A 7,022 SF COMMERCIAL BUILDING OPERATING MONDAY THROUGH SATURDAY 7:30 AM - 9 PM AND SUNDAYS 8 AM - 9 PM, AND ASSOCIATED ACCESS DRIVES, PARKING LOTS, DRIVE AISLES, WALKS AND LANDSCAPE. THIS DEVELOPMENT HAS BEEN DESIGNED TO COMPLY WITH THE STOCKTON MUNICIPAL CODE CRITERIA. THE DEVELOPMENT FALLS WITHIN THE CURRENT ZONING DESIGNATED BY SAN JOAQUIN COUNTY AND THE CITY OF STOCKTON. IT IS CONSISTENT WITH THE OVERALL PLAN FOR THE AREA AND THE LOAD ON THE EXISTING INFRASTRUCTURE HAS ALREADY BEEN TAKEN INTO ACCOUNT WITH THE OVERALL DEVELOPMENT.



VICINITY MAP (NOT TO SCALE)

### PARKING STATISTICS:

PARKING REQUIRED: 1 PER 250 SF = 28 SPACES  
PARKING PROVIDED: 33 SPACES  
ADA PARKING: 1 ADA SPACE PER 25 SPACES = 2 SPACES

### BUILDING NOTE:

BUILDING HEIGHT: 22'-8" (HIGHEST POINT)  
NUMBER OF STORIES: 1 STORY  
BUILDING AREA: 7,022 SQFT

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.



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ENGINEERING ENVIRONMENTAL BUILDING LAND  
Orange County Sacramento Denver Atlanta  
San Luis Obispo Riverside Boise

STANLEY IVerson, PE 44785

PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
THORNTON ROAD  
STOCKTON, CA #6  
CONCEPTUAL SITE PLAN

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COMM #	3867
DATE:	07-05-2016
REVISION	
DATE:	01-05-2017
	04-17-2017
	05-16-2017
	06-19-2020
	07-16-2021

CC1



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