

**RESOLUTION RECOMMENDING CITY COUNCIL
APPROVAL OF A GENERAL PLAN AMENDMENT:**

**Adopting the 2023-2031 Housing Element and
Changes to the Safety Element**

*City Council Meeting
July 9, 2024
Item 16.1*

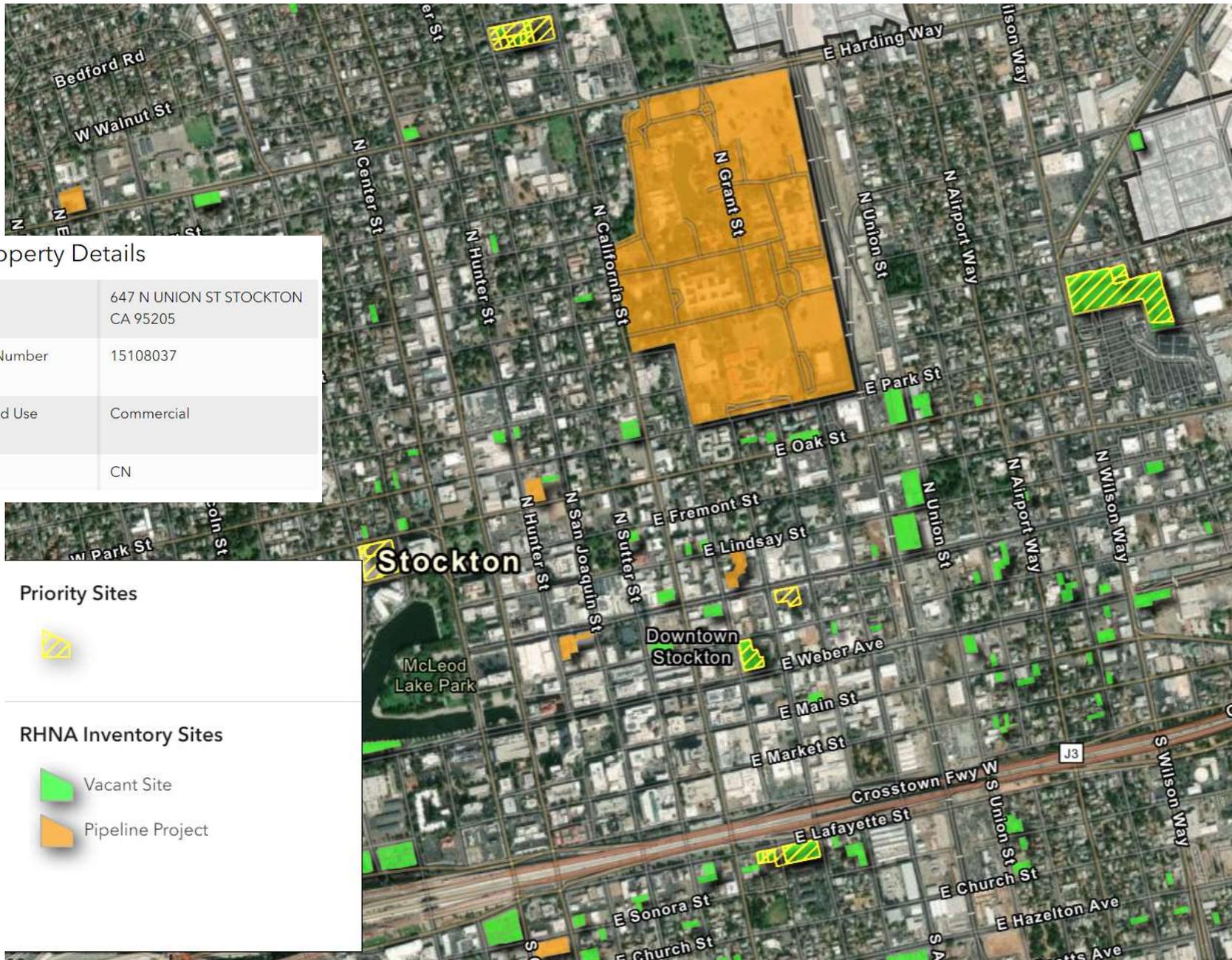
Housing Element-Background

- One of the eight mandated elements of the General Plan
- Must be updated every eight (8) years (“cycles”)
- Adoption Deadline: December 31, 2023
 - ✓ *5th Cycle Planning Period:*
December 31, 2015 – December 31, 2023
 - ✓ *6th Cycle Planning Period:*
December 31, 2023 – December 31, 2031
- Plan for accommodating the jurisdiction’s “fair share” of the regional housing need (“RHNA”)
- Many new laws impact this cycle, requiring new content
 - ✓ *Particularly AB 686: Affirmatively Furthering Fair Housing (AFFH)*

Housing Element - Land Inventory

Income Group	RHNA	Entitled Projects	Vacant Sites	Proj. ADUs	Total Capacity	Surplus
Lower Income (<80% AMI)	4,013	596	4,577	108	5,281	1,268
Moderate Income (81-120% of AMI)	2,572	353	2,932	54	3,339	767
Above Moderate Income (>120% of AMI)	6,088	13,643	718	18	14,379	8,291
TOTAL	12,673	14,592	8,227	180	22,999	10,326

Housing Element- Land Inventory



General Property Details

Address	647 N UNION ST STOCKTON CA 95205
Assessor Parcel Number (APN)	15108037
General Plan Land Use Designation	Commercial
Zoning	CN

Priority Sites



RHNA Inventory Sites



Vacant Site



Pipeline Project

Outreach/Meetings

2022

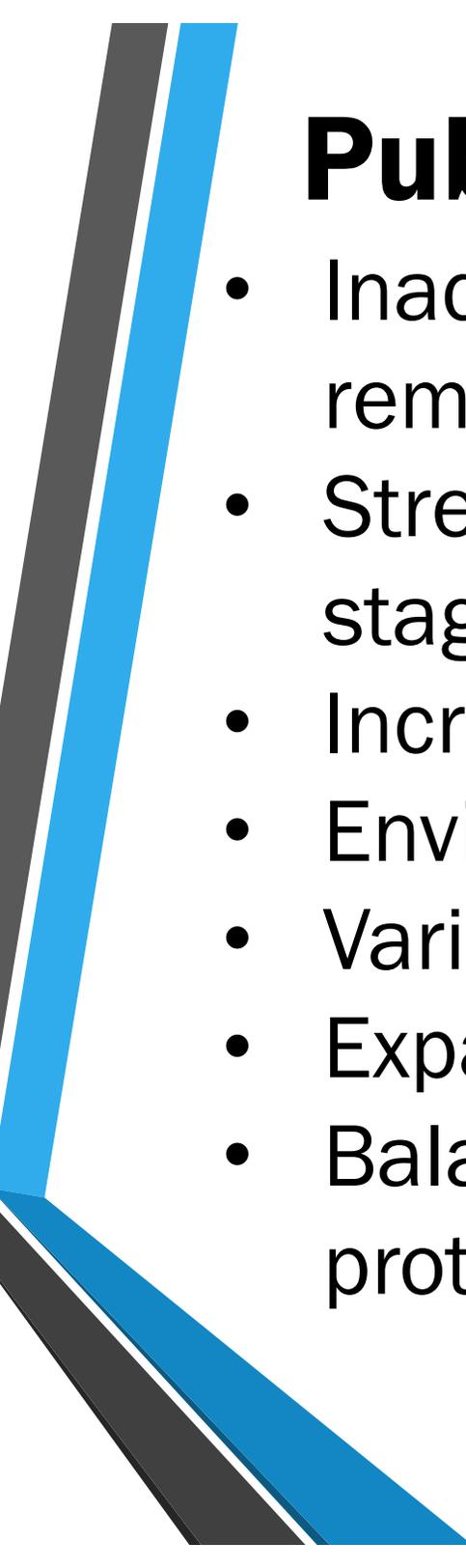
- 9/14/22: Land Inventory Public Workshop #1
- 10/19/22: Housing Element/Housing Action Plan Kick-Off Meeting

2023

- 2/28/23: Land Inventory Public Workshop #2
- 4/10/23: Housing Element Public Workshop #2
- 4/27/23: Planning Commission Housing Element Study Session
- June 2023 to April 2024- Public Draft Reviews (5)

2024

- 6/13/24: Planning Commission Housing and Safety Element Recommendation to Council

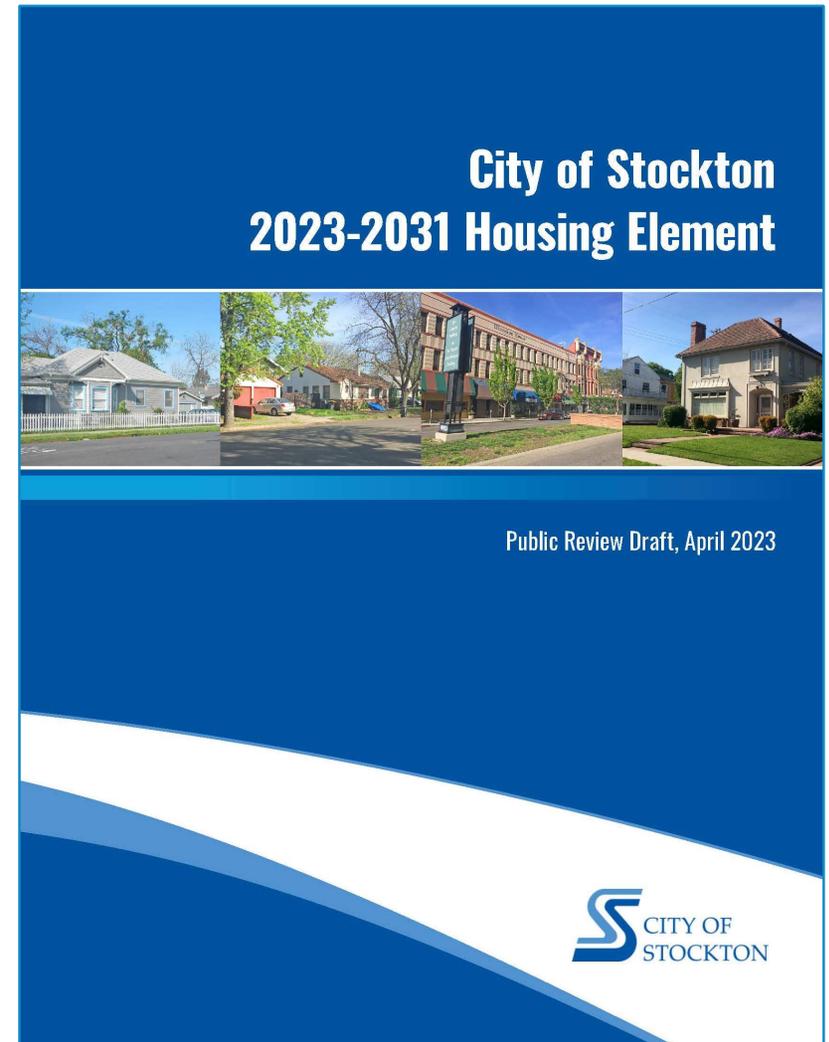


Public Feedback Received

- Inadequate Infrastructure and need for remediation
- Streamline reviews, costs, and developer stagnancy
- Increased construction and purchase costs
- Environmental justice and equity
- Variety of housing types and income ranges
- Expand housing services and resources
- Balancing growth with displacement protections

Housing Element - Contents

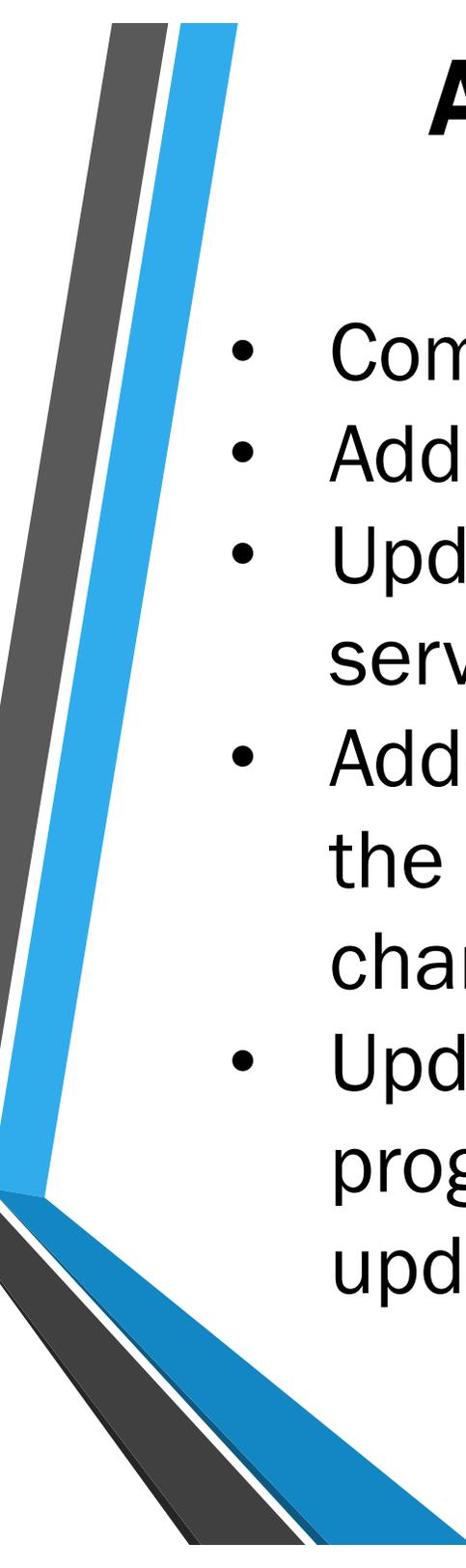
- Policy Document
- Introduction
- Housing Needs Assessment
- Assessment of Affirmatively Furthering Fair Housing (AFFH)
- Housing Sites Inventory
- Housing Programs and Financial Resources
- Potential Housing Constraints
- Evaluation of Previous Housing Element Programs
- Appendix A: Sites List and Maps
- Appendix B: Public Outreach Summary



Housing Element - Policy

Policies and Programs for:

- Maintaining land inventory and marketing sites
- AFFH housing sites and supportive services
- Program timeframes and quantified objectives
- Programs targeting non-residential land development, large and small sites, and government-owned properties
- Equitable Housing and Resources
- Align policies with current homeless actions
- Commitment to the Action Plans and Zoning Updates
- Explore best practices for various topics (rent stabilization, just-cause evictions, rental practices)



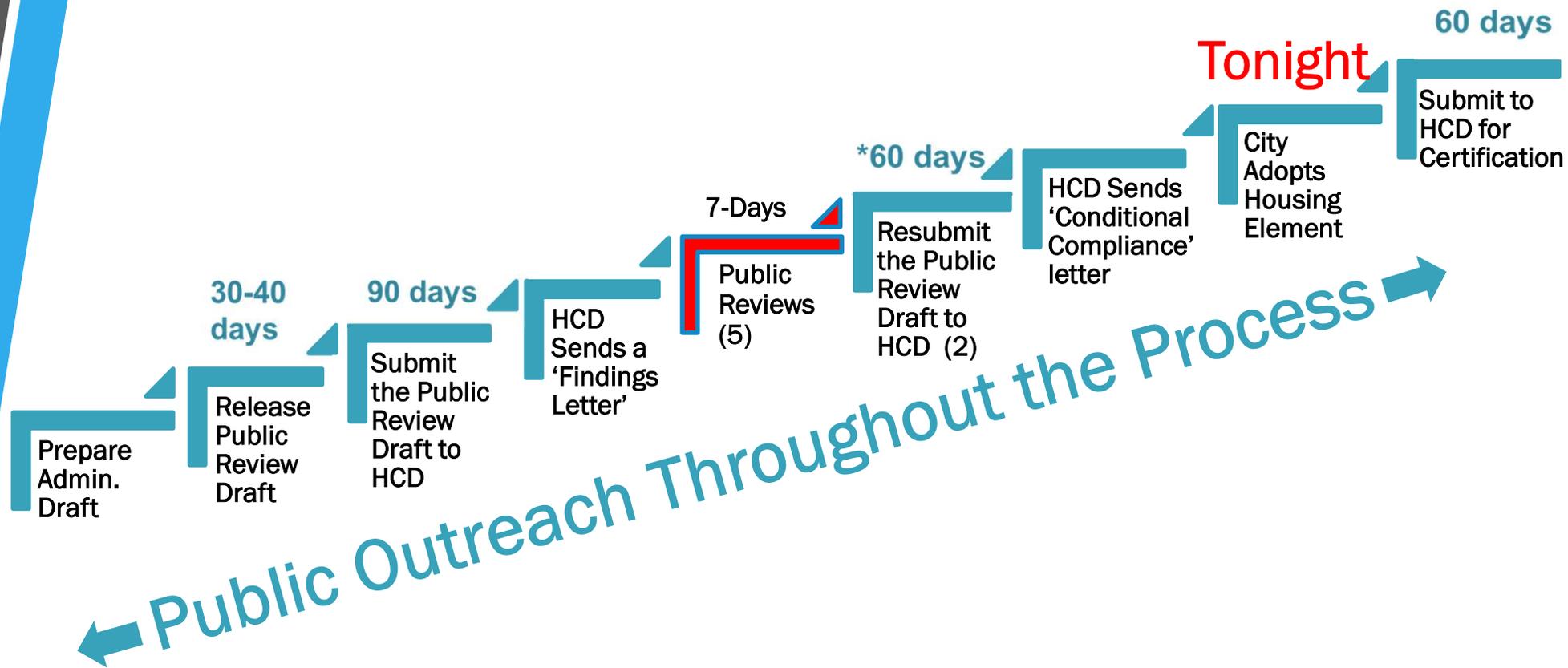
Affirmatively Furthering Fair Housing (AFFH)

- Completed regional analysis
- Added potential AFFH housing sites
- Updated information about support services, resources, and education facilities
- Added information about trends related to the unhoused in the city and demographic changes
- Updated contributing factors table as programs in the policy document were updated

Housing Element – Constraints

- Development standards and process analysis
- Added information regarding on-/off-site improvement requirements
- Updated fee information
- Updated analysis regarding emergency shelter zoning
- Analysis reflected internal process audit findings (Dev Stat Team)

Housing Element Certification Process



** Repeat this step until conditional certification from HCD is achieved*



Housing Element- Monitoring

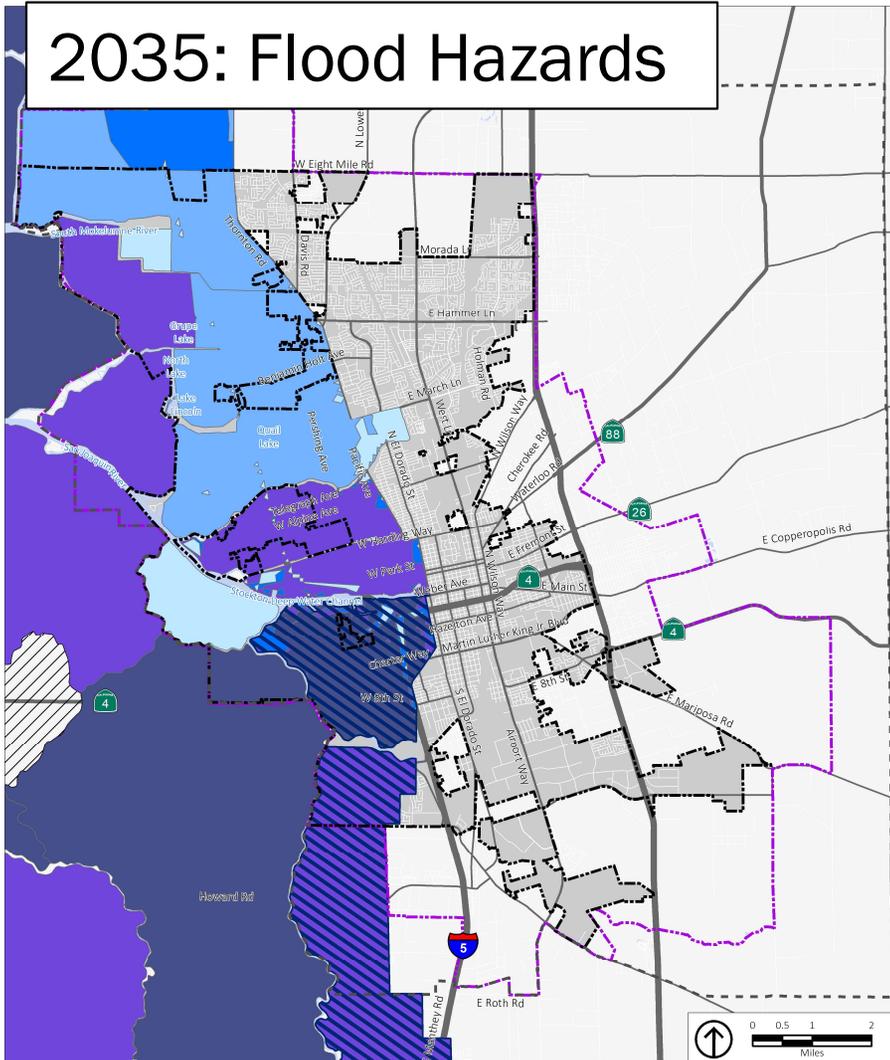
- Implementation relies on Action Plans and Development Code Update
- Annual Reports are required each April
- Housing Element Certification to include HCD preference on priority programs for implementation

Safety Element Update

- Required with the Housing Element
- Does not require State approval
- Added details on public safety issues, community warning systems, flooding, extreme heat, and drought
- Revised policies to reflect current community issues, updated science, and State requirements
- Updated evacuation and hazard maps

Safety Element- Map Updates

2035: Flood Hazards



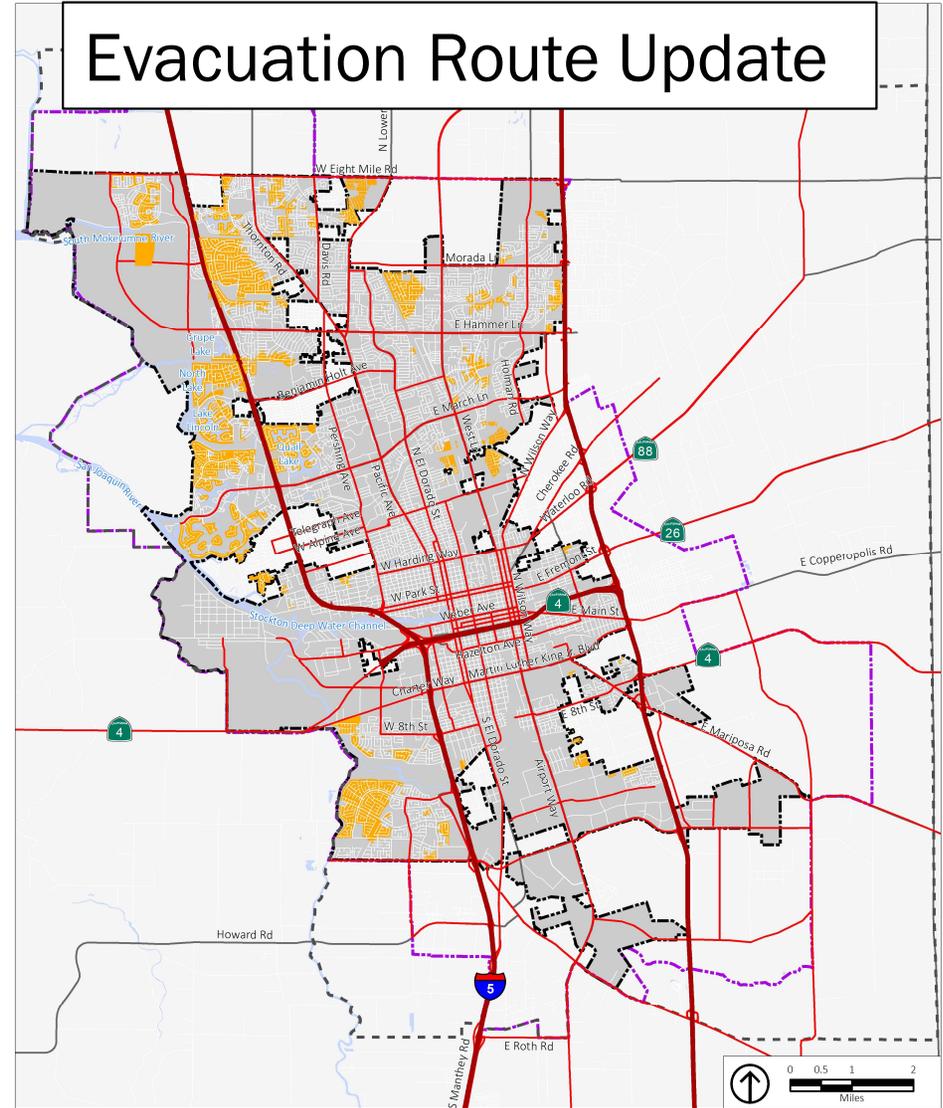
Source: City of Stockton; Fehr & Peers, 2016; PlaceWorks, 2023; LSRI 2019, Delta Stewardship Council 2021

Flood Hazard for 2085 Probabilistic Conditions

- General Plan Planning Area
- City Limit
- Sphere of Influence
- Not Modeled
- High Risk of River Flooding

Annual Chance	Return Period	Chance over 10 years
10%	Less than 10 years	Greater than 65%
2-10%	10 to 50 years	18% to 65%
1-2%	50 to 100 years	10% to 18%
.5-1%	100 to 200 years	5% to 10%
<.5%	Greater than 200 years	Less than 5%

Evacuation Route Update



Source: City of Stockton; Fehr & Peers, 2016; PlaceWorks, 2023; ESRI 2019

- General Plan Planning Area
- City Limit
- Sphere of Influence
- Residential Parcel with Potential Evacuation Constraints
- Possible Evacuation Route - Freeway
- Possible Evacuation Route - Surface Street

Conclusion

- Required by State Law
- Certification needed to receive funding
- Preempts litigation
- Internally consistent with all existing and proposed policies and efforts
- Ongoing monitoring of implementation
- No environmental impact (consistent with the General Plan)
- Planning Commission recommends approval
- HCD has indicated compliance

Recommendation

Staff Recommends that the City Council adopt a Resolution:

- 1) Finding no further environmental review is required per CEQA Section 15183 (Consistency with General Plan and Community Plan); and
- 2) Adopt the 2023-2031 Housing Element with associated changes to the Safety Element Update